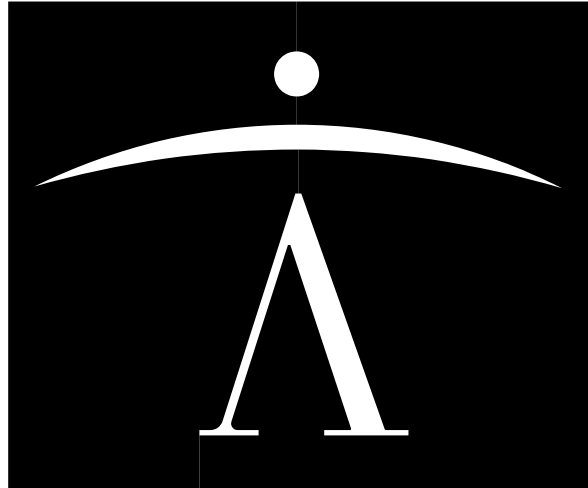


# CONSTRUCTION DOCUMENTS: ROOFING IMPROVEMENTS - SUMMER 2023

304 N. MAIN STREET  
LINDENWOOD, ILLINOIS 61049

FOR

## BOARD OF EDUCATION - ESWOOD CCSD #269



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<div><div><div><div><div>310</div><div>ROOM NUMBER</div></div><div><div>108B</div><div>DOOR NUMBER</div></div><div><div>15</div><div>KEY NOTES</div></div><div><div>1 B</div><div>WINDOW TYPE</div></div><div><div>A</div><div>REVISION</div></div><div><div>4</div><div>PARTITION TYPE</div></div><div><div>A</div><div>COLUMN CENTERLINES</div></div><div><div>10'-10"</div><div>CEILING HEIGHTS</div></div><div><div>3 A5-6</div><div>BUILDING SECTION</div></div><div><div>3 A5-6</div><div>SECTION</div></div><div><div>VERTICAL ELEVATION</div></div><div><div>A8-1</div><div>INTERIOR ELEVATION</div></div><div><div>3 A7-1</div><div>DETAIL</div></div><div><div>NEW WALL</div></div><div><div>DEMO WALL</div></div><div><div>EXISTING WALL</div></div><div><div>BRICK</div></div><div><div>CONCRETE MASONRY UNIT</div></div><div><div>CONCRETE</div></div><div><div>STEEL</div></div><div><div>WOOD BLOCKING</div></div><div><div>RIGID INSULATION</div></div><div><div>PLYWOOD</div></div><div><div>GYPSUM BOARD</div></div><div><div>BATT INSULATION</div></div><div><div>FINISH MATERIAL, REFER TO ROOM FINISH SCHEDULE</div></div><div><div>LINTEL</div></div></div></div><div><div><div><b>PARTICIPATING ORGANIZATIONS:</b></div><div><div><div><b>OWNER:</b></div><div>BOARD OF EDUCATION, ESWOOD CCSD #269</div></div><div><div><b>OWNER REPRESENTATIVE:</b></div><div>KIRSTEN GARRIGAN, SUPERINTENDENT</div><div>(815) 943-4471</div></div></div><div><div><b>ARCHITECT:</b></div><div>newman architecture</div><div>(630) 400-0055</div></div><div><div><b>PROJECT ARCHITECT:</b></div><div>CHARLES R. NEWMAN, A.I.A., N.C.A.R.B.</div></div><div><div><b>PROJECT MANAGER:</b></div><div>ELIZABETH A. MOHR</div></div><div><div><b>M-E-P ENGINEER:</b></div><div>2010 ENGINEERING GROUP LLC</div><div>(847) 882-2010</div></div><div><div><b>PROJECT MANAGER:</b></div><div>JEFFREY CHAMBERLIN, PE, LEED AP</div></div></div></div><div><div><b>SCOPE OF WORK</b></div><div><div>THE SCOPE OF WORK INCLUDES:</div><div><div>- TEAR-OFF AND REPLACE SELECTED ROOFING</div><div>- REMOVE EXISTING TOILET ROOM 104 &amp; 106 EXHAUST FANS AND SPACE HEATERS, FILL ABANDONED EXHAUST OPENINGS AT ROOF, AND PROVIDE NEW TOILET ROOM EXHAUST, SUSPENDED CEILING SYSTEM, RADIANT CEILING PANELS, AND NEW LED LIGHTING.</div><div>- REPLACE 3 EXTERIOR AREA LIGHTS WITH NEW LED FLOOD LIGHTS AND ADD A FLOOD LIGHT ON THE EAST FRONT OF THE BUS GARAGE.</div></div></div></div></div> <div><div><b>LOCATION MAP</b></div><div></div></div> <div><div><b>CODE INFORMATION</b></div><div><div>THE FOLLOWING CODES ARE CURRENTLY IN USE BY THE LOCAL CODE ENFORCING AUTHORITY AT THE TIME OF PERMIT REVIEW. COMPLY WITH THE MOST STRINGENT PROVISIONS OF THESE CODES IN ADDITION TO SPECIAL REQUIREMENTS ADOPTED BY THE LOCAL BUILDING DEPARTMENT HAVING JURISDICTION AS OF THE DATE ISSUED FOR PERMIT NOTED ON THESE DRAWINGS.</div><div>ILLINOIS ADMINISTRATIVE CODE PART 180 INCLUDING EXCEPTIONS TO THE FOLLOWING CODES:</div><div>2015 INTERNATIONAL BUILDING CODE</div><div>2015 INTERNATIONAL EXISTING BUILDING CODE</div><div>2015 INTERNATIONAL FIRE PREVENTION CODE, EXCLUDING CHAPTER 4</div><div>ILLINOIS ACCESSIBILITY CODE, CURRENT EDITION</div><div>ILLINOIS ENERGY CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE</div><div>ILLINOIS STATE PLUMBING CODE, CURRENT EDITION</div><div>2015 INTERNATIONAL MECHANICAL CODE</div><div>2015 INTERNATIONAL FUEL GAS CODE</div><div>2014 NATIONAL ELECTRIC CODE</div></div></div> <div><div><b>BUILDING INFORMATION</b></div><div><div>OCCUPANCY OR USE GROUP:</div><div>E-EDUCATIONAL</div></div><div><div>CONSTRUCTION CLASSIFICATION:</div><div>TYPE IIC</div></div><div><div>SPRINKLER STATUS:</div><div>PARTIALLY SPRINKLERED</div></div><div><div>FIRE ALARM STATUS:</div><div>EXISTING FIRE ALARM SYSTEM</div></div><div><div>BUILDING AREA:</div><div>24,243 SF ± - EXISTING - NO CHANGE</div></div><div><div>BUILDING HEIGHT:</div><div>(1 STORY) - EXISTING - NO CHANGE</div></div></div> <div><div><b>GENERAL NOTES</b></div><div><div>1. THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, ENTITLED "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2011 EDITION, IS HEREBY MADE A PART OF THESE CONSTRUCTION DOCUMENTS IN ITS ENTIRETY, TO THE SAME EXTENT AS IF REPEATED VERBATIM HEREIN.</div><div>2. THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A101, ENTITLED "STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR (STIPULATED SUM)", 2011 EDITION, WILL FORM THE BASIS FOR THE OWNER-CONTRACTOR AGREEMENT.</div><div>3. FOR THE PURPOSE OF THE OWNER-CONTRACTOR AGREEMENT AND REFERENCES TO THE OWNER OR TENANT THROUGHOUT THE CONSTRUCTION DOCUMENTS, THE OWNER AND TENANT ARE THE SAME. THE PROPERTY MANAGER IS THE OWNER'S REPRESENTATIVE.</div><div>4. THE GENERAL CONTRACTOR SHALL MAINTAIN INSURANCE WHICH LISTS THE OWNER, TENANT, THE ARCHITECT, THEIR EMPLOYEES AND THEIR AGENTS, AS ADDITIONAL INSURED PARTIES. THE CONTRACTOR SHALL GIVE EACH OF THE ADDITIONAL INSURED PARTIES A MINIMUM OF 10 DAYS PRIOR WRITTEN NOTICE OF ANY ALTERATION OR TERMINATION OF COVERAGE DURING CONSTRUCTION OPERATIONS. MAINTAIN MINIMUM COVERAGE IN COMPLIANCE WITH OWNER-CONTRACTOR CONTRACT REQUIREMENTS.</div><div>5. THE GENERAL CONTRACTOR SHALL PROCURE AND PAY FOR ALL PERMITS, LICENSING, AND INSPECTION FEES REQUIRED BY THE WORK.</div><div>6. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COORDINATION OF RESPONSIBILITIES OF EACH TRADE. NOTES CONTAINED HEREIN SHALL NOT BE CONSTRUED TO DEFINE THE CONTRACTUAL RELATIONSHIP BETWEEN THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS.</div><div>7. IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS TO INCLUDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, READY FOR OCCUPANCY BY THE TENANT. WHERE A QUESTION EXISTS REGARDING EXTENT OF THE RESPONSIBILITY OF THE CONTRACTOR, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL.</div><div>8. PRIOR TO SUBMITTING A PROPOSAL, CONTRACTORS SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND VISIT THE SITE TO ESTABLISH THE WORK REQUIRED BY EACH TRADE.</div><div>9. ARCHITECTURAL DRAWINGS INCLUDE IMPORTANT INFORMATION FOR ALL TRADES. EACH TRADE SHALL REVIEW ALL DRAWINGS TO DETERMINE THE COMPLETE SCOPE OF WORK FOR THEIR TRADE.</div><div>10. DO NOT SCALE DRAWINGS.</div><div>11. EACH CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO SUBMITTING A PROPOSAL AND AGAIN DURING THE PREPARATION OF SHOP DRAWINGS. ETC. SUBMISSION OF SHOP DRAWINGS BY THE GENERAL CONTRACTOR TO THE ARCHITECT IS THE CONTRACTOR'S CERTIFICATION TO THE TENANT THAT THE GENERAL CONTRACTOR HAS VERIFIED THE ACCURACY OF THE SUBMITTAL AND HAS COORDINATED ALL RELATED ITEMS OF THE SUBMITTAL WITH THE FIELD CONDITIONS, DESIGN INTENT, AND BETWEEN TRADES.</div><div>12. THE OWNER AND ARCHITECT ARE AWARE OF HAZARDOUS BUILDING MATERIALS IN THE AREA OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL REVIEW THE PROJECT WITH THE BUILDING OWNER'S REPRESENTATIVE AND SHALL BECOME AWARE OF THE LOCATION AND EXTENT OF ANY SUSPECTED HAZARDOUS BUILDING MATERIALS IN THE AREA OF CONSTRUCTION. IF DURING DEMOLITION OR CONSTRUCTION OPERATIONS ENVIRONMENTALLY HARMFUL MATERIALS ARE DISCOVERED OR SUSPECTED THAT MAY BE DISTURBED BY THE CONTRACTOR'S WORK, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF THE RELATED WORK. ENVIRONMENTALLY HAZARDOUS MATERIALS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION MUST BE REMOVED OR ENCAPSULATED BY A PROFESSIONAL, LICENSED BY GOVERNMENTAL AUTHORITIES HAVING JURISDICTION FOR HANDLING THE SPECIFIC MATERIALS INVOLVED UNDER A SEPARATE CONTRACT. T.E.M. IS THE OWNER'S ENVIRONMENTAL DESIGN ENGINEER. CONTACT STEVEN GENSER @ 630-740-0880.</div><div>13. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS ENCOUNTERED FOR CLARIFICATION.</div><div>14. THE CONTRACTOR SHALL DELIVER ALL WRITTEN SUBMITTALS, INCLUDING SHOP DRAWINGS, MANUFACTURER'S LITERATURE, ETC. TO THE ARCHITECT IN ELECTRONIC AND HARD COPY FORM. RECORD DRAWINGS SHALL BE PHYSICALLY DELIVERED TO THE ARCHITECT FOR EVALUATION. RESPONSES TO SAMPLE SUBMITTALS WILL BE RETURNED BY THE ARCHITECT IN PDF FORMAT.</div><div>15. THE GENERAL CONTRACTOR SHALL FURNISH A COMPLETE SET OF CLOSE-OUT DOCUMENTS, IN PDF FORMAT, TO THE ARCHITECT UPON COMPLETION OF THE WORK. PAY PARTICULAR ATTENTION TO IDENTIFYING THE LOCATIONS OF BUILDING COMPONENTS REQUIRING FUTURE SERVICE. INCLUDE LOCATIONS OF ACCESS TO DUCTWORK, PIPING, AND RACEWAYS, ETC. PROVIDE NEW TYPEWRITTEN DIRECTORIES IN ELECTRICAL PANELS IDENTIFYING ALL NEW AND MODIFIED ELECTRICAL CIRCUITS. CLOSE-OUT DOCUMENTS SHALL INCLUDE, BUT ARE NOT LIMITED TO: ACCEPTED SUBMITTALS, ALL REQUIRED AND SPECIAL WARRANTIES, MAINTENANCE AND OPERATION MANUALS, SPECIAL INSPECTION REPORTS, FINAL CODE-ENFORCEMENT AUTHORITY SIGN-OFFS, RECORD DRAWINGS INCLUDING NOTATIONS OF LOCATIONS OF ALL DEVICES/EQUIPMENT REQUIRING REGULARLY SCHEDULED MAINTENANCE OR DEVICE LOCATIONS NEEDED FOR TEMPORARY SHUT-OFF FOR MAINTENANCE SERVICE. PROVIDE COPIES OF ALL TESTS, TESTING AND BALANCING REPORTS, COMPLETED "UNCOMPLETED ITEMS" LISTS PREPARED BY THE ARCHITECT, THE ARCHITECT'S CONSULTANTS AND THE OWNER WITH SIGN-OFFS, ETC.</div><div>16. THE CONTRACTOR SHALL NOT SUBSTITUTE MATERIALS OR EQUIPMENT WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ARCHITECT.</div><div>17. ANY ALTERATION WORK AFFECTING EXISTING SYSTEMS UNDER WARRANTY MUST BE PERFORMED IN COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS, SO AS NOT TO VOID EXISTING WARRANTIES.</div><div>18. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND COMPLETION OF ALL DEMOLITION WORK NECESSARY TO COMPLETE THE WORK. DEMOLITION INFORMATION INDICATED ON THE DRAWINGS OR OTHERWISE PROVIDED ON DRAWINGS GENERALLY DESCRIBES THE INTENT OF THE DEMOLITION WORK REQUIRED. THE CONTRACTOR IS EXPECTED TO VISIT THE SITE AND EVALUATE EXISTING CONDITIONS PRIOR TO PREPARING HIS PROPOSAL. INCLUDE ALL DEMOLITION WORK NECESSARY TO COMPLETION OF CONSTRUCTION AS INDICATED IN THE DRAWINGS. WHERE A QUESTION REGARDING EXTENT OF DEMOLITION WORK EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL.</div><div>19. PROTECTION OF ALL EXISTING BUILDING SURFACES TO REMAIN IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGE TO EXISTING BUILDING SURFACES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT HIS EXPENSE. REPLACEMENT CONSTRUCTION SHALL BE TO AN "AS-NEW" CONDITION.</div><div>20. CONTRACTOR SHALL PROVIDE MANUFACTURER'S DOCUMENTATION FOR ALL MATERIALS USED IN FIRE-RATED ASSEMBLIES.</div></div></div> <div><div><b>STANDARDS</b></div><div><div>1. EACH CONTRACTOR SHALL PROVIDE ALL WORK IN CONFORMANCE WITH FEDERAL, STATE, AND LOCAL CODES AND REQUIREMENTS HAVING LAWFUL JURISDICTION INCLUDING THE CURRENT EDITION OF THE ACCESSIBILITY CODE AND ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES' BY THE FEDERAL DEPARTMENT OF JUSTICE.</div><div>2. EACH CONTRACTOR SHALL INSTALL MATERIALS IN ACCORDANCE WITH APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS AND COMPLY WITH GOVERNING INDUSTRY REGULATIONS AND STANDARDS APPLICABLE TO THE WORK.</div><div>3. EACH CONTRACTOR SHALL PROVIDE ALL CUTTING AND PATCHING AS REQUIRED TO COMPLETE HIS WORK.</div><div>4. ALL NEW CONSTRUCTION SHALL BE SUPPORTED FROM STRUCTURAL FRAMING MEMBERS AND SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT OVERLOAD THE EXISTING STRUCTURE BEYOND ITS ORIGINAL DESIGN CAPACITY. DO NOT HANG NEW CONSTRUCTION FROM EXISTING METAL DECK, DUCTWORK, SERVICE PIPE, ETC. RUN PIPING PARALLEL WITH BUILDING WALLS AND CONSTRUCTION AND AVOID CONFLICT WITH OTHER BUILDING SERVICES.</div><div>5. NO CONDUIT, PIPING, DUCTWORK, ETC. SHALL BE RUN EXPOSED WITHOUT THE PRIOR ACCEPTANCE OF THE ARCHITECT, UNLESS SPECIFICALLY CALLED OUT AS SUCH ON THE CONSTRUCTION DOCUMENTS. IN AREAS OF EXPOSED CEILING CONSTRUCTION, RUN CABLE, CONDUIT, PIPE, DUCTWORK, ETC. IN A MANNER THAT OFFERS THE BEST POSSIBLE APPEARANCE, WHERE THESE REQUIREMENTS ARE UNCLEAR, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING.</div><div>6. EACH CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING CONSTRUCTION TO REMAIN CAUSED BY HIS OPERATIONS AT HIS OWN EXPENSE. REPLACEMENT CONSTRUCTION SHALL BE TO AN "AS-NEW" CONDITION, MATCH ADJACENT, UNDAMAGED FINISHES.</div></div></div> <div><div><b>PROPERTY MANAGER CRITERIA</b></div><div><div>1. THE GENERAL CONTRACTOR SHALL COORDINATE ACCEPTABLE TIME FOR THE USE OF UTILITIES, ELEVATORS, ACCEPTABLE ENTRANCES OF WORKERS, ETC. WITH THE PROPERTY MANAGER PRIOR TO THE COMMENCEMENT OF THE WORK. DAILY WORKING HOURS SHALL BE AS DICTATED BY THE PROPERTY MANAGER. ANY DISRUPTIONS TO UTILITIES (ELECTRICAL, WATER, ETC.) SHALL BE COORDINATED 48 HOURS PRIOR TO SCHEDULED DISRUPTION.</div><div>2. POSSESSION OF ALCOHOL OR ILLEGAL DRUGS WILL NOT BE PERMITTED WITHIN THE BUILDING OR WITHIN BOUNDARIES OF THE LANDLORD'S PROPERTY. SMOKING IS NOT PERMITTED INSIDE THE BUILDING. SMOKING MAY BE PERMITTED OUTSIDE THE BUILDING, ONLY IF AND WHERE ALLOWED BY THE PROPERTY MANAGER.</div><div>3. COMPLY WITH ALL CONSTRUCTION REQUIREMENTS PROVIDED BY THE PROPERTY MANAGER. WHERE PROPERTY MANAGER'S REQUIREMENTS ARE MORE STRINGENT THAN THOSE IN THE CONSTRUCTION DOCUMENTS, COMPLY WITH PROPERTY MANAGER'S REQUIREMENTS.</div></div></div> <div><div><b>COORDINATION</b></div><div><div>1. THE GENERAL CONTRACTOR SHALL PROVIDE COORDINATION BETWEEN TRADES TO FACILITATE JOB COMPLETION IN AN EFFICIENT AND TIMELY MANNER.</div><div>2. EACH CONTRACTOR SHALL VERIFY THAT PRECEDING WORK IS CORRECT BEFORE COMMENCEMENT OF DEPENDENT WORK. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.</div></div></div> <div><div><b>TEMPORARY FACILITIES</b></div><div><div>1. VENTILATION: PORTIONS OF THE BUILDING'S NORMAL VENTILATION SYSTEM MAY OPERATE DURING CONSTRUCTION, WHERE CONSTRUCTION RESULTS IN ABOVE-NORMAL LEVELS OF DUST BEING INTRODUCED INTO THE AIR (SUCH AS DEMOLITION OF DRYWALL CONSTRUCTION, ETC.). CONSTRUCT DUST BARRIERS AROUND THE AREA OF CONSTRUCTION AND PROVIDE TEMPORARY FILTERED RETURN AIR GRILLES TO PREVENT CONSTRUCTION DUST FROM ENTERING INTO THE VENTILATION SYSTEM. REPLACE THE FILTER(S) AS REQUIRED TO MAINTAIN AN ADEQUATE AIR FLOW AND MINIMIZE THE AMOUNT OF CONSTRUCTION DUST ENTERING THE SYSTEM. COVER ALL SUPPLY AND RETURN OPENINGS AND GRILLES AND IN DUCTWORKS OF PORTIONS OF THE SYSTEM NOT OPERATING TO AVOID ENTRY OF CONTAMINANTS INTO DUCTWORK TO BE REUSED. PROTECT AIR INLETS AND DISCHARGES FROM CONSTRUCTION DEBRIS THROUGHOUT PERIOD OF CONSTRUCTION. IF UNITS BECOME CONTAMINATED WITH CONSTRUCTION DEBRIS DURING PERIOD OF CONSTRUCTION, CLEAN UNITS TO SATISFACTION OF THE OWNER AND TENANT. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPLEMENTAL VENTILATION AS REQUIRED BY CONSTRUCTION OPERATIONS.</div><div>2. HEAT: THE PROPERTY MANAGER AND TENANT WILL ALLOW THE CONTRACTOR TO USE EXISTING HEATING AND VENTILATION EQUIPMENT AS LONG AS THE CONTRACTOR COMPLIES WITH THE REQUIREMENTS IN "VENTILATION" ABOVE. IF THE CONTRACTOR DOES NOT COMPLY WITH THE REQUIREMENTS NOTED ABOVE, OR IF NO EXISTING EQUIPMENT IS OPERATIONAL, THE CONTRACTOR SHALL PROVIDE TEMPORARY HEAT AS REQUIRED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR UTILITY CHARGES.</div><div>3. TELEPHONE: SERVICES DESIRED BY THE CONTRACTOR SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR.</div><div>4. CONSTRUCTION WATER: THE PROPERTY MANAGER AND TENANT WILL ALLOW CONTRACTORS TO USE THE EXISTING FACILITIES. CONTRACTOR WILL NOT BE RESPONSIBLE FOR UTILITY CHARGES.</div><div>5. SANITARY: THE PROPERTY MANAGER AND TENANT WILL ALLOW THE CONTRACTOR TO USE EXISTING TOILET FACILITIES AND WILL PAY WATER UTILITY FEES. AVOID USE OF TOILET FACILITIES OR IF NO EXISTING TOILET FACILITIES ARE FUNCTIONAL, THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT HIS EXPENSE. THE LOCATION OF TEMPORARY TOILET FACILITIES SHALL REQUIRE THE APPROVAL OF THE PROPERTY MANAGER. DO NOT CLEAN BRUSHES, TOOLS OR CONSTRUCTION IN TOILET ROOMS.</div><div>6. ELECTRICAL: THE PROPERTY MANAGER AND TENANT WILL ALLOW THE CONTRACTORS TO USE THE EXISTING ELECTRICAL SERVICE. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ELECTRICAL UTILITY CHARGES. ALL TEMPORARY POWER AND LIGHTING SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE REMOVED PRIOR TO OCCUPANCY BY THE TENANT.</div><div>7. SECURITY: THE GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE SECURED, SECURED AND WATER-TIGHT AT THE END OF EACH WORK DAY. ANY CONTRACTOR REQUIRED TO CREATE NEW OPENINGS IN PERIMETER WALLS OR ROOFING SYSTEMS OR REMOVE WINDOWS OR DOORS SHALL SECURE THOSE OPENINGS AT THE END OF EACH WORK DAY. PROVIDE A LOCKABLE AND WEATHER-PROOF DOOR, WINDOW OR BARRICADE TO SECURE THE BUILDING. TEMPORARY INFILL OR COVERINGS SHALL BE VANDAL-PROOF AND WATER-TIGHT. ANY DAMAGE DUE TO VANDALISM OR WATER INFILTRATION WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</div><div>8. PROVIDE TEMPORARY DUST/SOUND BARRIERS THROUGHOUT THE PERIOD OF CONSTRUCTION AS REQUIRED TO PROTECT ADJACENT OCCUPIED AREAS FROM CONSTRUCTION NOISE AND DEBRIS.</div></div></div> <div><div><b>SAFETY</b></div><div><div>1. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL PROJECT SAFETY, INCLUDING, BUT NOT LIMITED TO, SAFETY PROGRAMS AND THE SAFETY AND PROTECTION FROM ALL EQUIPMENT, OPERATIONS, STORAGE FACILITIES AND DUMPSTERS, AND SHALL HOLD THE OWNER, TENANT, ARCHITECT AND THEIR EMPLOYEES HARMLESS FROM ALL LIABILITIES RESULTING THEREFROM.</div><div>2. PRESERVE THE FIRE SAFETY INTEGRITY OF EXISTING FACILITIES DURING CONSTRUCTION OPERATIONS.<div><div>A. ENSURE FIRE EXITS PROVIDE FREE, UNOBSTRUCTED EGRESS.</div><div>B. ENSURE FIRE ALARM, DETECTION, LIFE SAFETY NOTIFICATION AND SUPPRESSION SYSTEMS ARE FULLY OPERATIONAL OR APPROPRIATE TEMPORARY PROTECTION MEASURES ACCEPTABLE TO THE LOCAL CODE/FIRE PROTECTION AUTHORITY ARE IMPLEMENTED THROUGHOUT PERIOD OF CONSTRUCTION.</div></div></div><div>3. PROVIDE TEMPORARY BARRICADES AS REQUIRED TO MARK OF UNSAFE AREAS OF CONSTRUCTION, AS JUDGED BY THE GENERAL CONTRACTOR.</div></div></div> <div><div><b>FIRESTOPPING REQUIREMENTS</b></div><div><div>1. PENETRATIONS THROUGH RATED FLOOR, WALL OR ROOF ASSEMBLIES SHALL BE FIRESTOPPED WITH THRU-PENETRATION FIRESTOPPING ASSEMBLIES THAT MATCH THE FIRE RATING OF THE WALLS OR FLOORS BEING PENETRATED, AND ARE CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO THE TEST METHODS SPECIFIED FOR FIRE STOPS, IN COMPLIANCE WITH ASTM E-814.</div><div>2. EXISTING SPRAY-ON FIREPROOFING, INTUMESCENT PAINT, OR FIRE PROTECTION CONSTRUCTION PROTECTING STRUCTURAL MEMBERS, DECK OR FIRE-RATED ASSEMBLIES THAT IS REMOVED OR DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED BY CONTRACTOR TO MATCH OR EXCEED EXISTING PROTECTION IN COMPLIANCE WITH CODE.</div></div></div> <div><div><b>DEFINITIONS</b></div><div><div>1. ACCEPTED: THE TERMS "ACCEPTED", "APPROVED", "REQUIRED", AND "AS DIRECTED" REFER TO AND INDICATE WORK OR MATERIALS THAT MAY BE ACCEPTED, APPROVED, OR REQUIRED BY THE OWNER.</div><div>2. CODE: THE TERMS "CODE" AND "BUILDING CODE" REFER TO REGULATIONS BY GOVERNMENTAL AGENCIES HAVING LAWFUL JURISDICTION.</div><div>3. CONTRACTORS OR THE CONTRACTOR: REFERS TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS, SUPPLIERS AND ALL OTHERS EMPLOYED DIRECTLY OR INDIRECTLY BY THE GENERAL CONTRACTOR TO COMPLETE THE WORK REQUIRED BY THIS CONTRACT.</div><div>4. PROVIDE: FURNISH AND INSTALL COMPLETE IN PLACE, TESTED AND APPROVED, READY FOR USE.</div><div>5. SHOWN: THE TERMS "SHOWN", "INDICATED", "DETAILED", "NOTED", "SCHEDULED", AND TERMS OF SIMILAR CHARACTER REFER TO REQUIREMENTS CONTAINED IN THE CONTRACT DOCUMENTS.</div><div>6. SIMILAR: THE TERM IS USED IN ITS GENERAL SENSE, AND DOES NOT NECESSARILY MEAN IDENTICAL. THE DETERMINATION OF SIMILARITY OF PRODUCTS OR APPLICATIONS IS SUBJECT TO THE APPROVAL OF THE OWNER.</div></div></div> <div><div><b>CLEANING</b></div><div><div>1. DUMPSTERS: CONTRACTOR SHALL VERIFY ACCEPTABLE LOCATIONS OF DUMPSTER(S) WITH THE PROPERTY MANAGER. PROTECT TURF, LANDSCAPING, PAVEMENT, ETC. FROM DAMAGE AS REQUIRED. REPAIR ANY DAMAGE CAUSED BY STORAGE OR TRANSPORT OF DUMPSTERS TO THE AREA'S PRIOR CONDITION.</div><div>2. CLEANING: THE GENERAL CONTRACTOR SHALL CLEAN THE WORK SPACE AT THE END OF EACH WORK DAY TO A "BROOM CLEAN" CONDITION. REMOVE DEMOLISHED MATERIALS AND REFUSE TO THE CONTRACTOR'S COVERED DUMPSTER OR LEGALLY REMOVE FROM THE SITE.</div><div>3. FINAL CLEAN: UPON COMPLETION OF MODIFICATIONS NOTED HEREIN, THE CONTRACTOR SHALL PROVIDE A FINAL CLEAN OF ALL SURFACES IMPACTED BY THE WORK. THE CONTRACTOR SHALL EMPLOY A COMMERCIAL GRADE CLEANING COMPANY, EXPERIENCED WITH FACILITIES OF THIS TYPE AND SIZE, FOR FINAL CLEANING OPERATIONS. THE FINAL CLEAN SHALL INCLUDE ALL CLEANING, WAXING, BUFFING, SEALING, ETC. PER SURFACE MANUFACTURER'S RECOMMENDATIONS FOR HIGH-TRAFFIC AREAS, AS REQUIRED, READY FOR THE BUSINESS OF THE TENANT.</div></div></div> <div><div><b>MAINTENANCE MATERIALS</b></div><div><div>THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER THE FOLLOWING MAINTENANCE MATERIALS, FROM THE SAME MANUFACTURER NOT USED IN CONSTRUCTION, ENCLOSED IN PROTECTIVE PACKAGING WITH APPROPRIATE IDENTIFYING LABELS:<div><div>A. ACOUSTIC CEILING TILE: FURNISH QUANTITY OF FULL SIZE UNITS EQUAL TO 5% OF AMOUNT INSTALLED.</div><div>B. ACOUSTIC CEILING SUSPENSION SYSTEM: NOT LESS THAN 2% OF EACH COMPONENT TYPE INSTALLED.</div><div>C. PAINT: FURNISH REMAINDER OF GALLON OF EACH COLOR / FINISH APPLIED BUT IN NO CASE LESS THAN 1/2 GALLON. SEAL IN AN AIRTIGHT CONTAINER.</div><div>D. REFER TO MEP DRAWINGS FOR MEP MAINTENANCE MATERIALS.</div></div></div></div><div><div><b>PROJECT SPECIFIC NOTES</b></div><div><div>1. COORDINATE ANY AVAILABLE ON-SITE TEMPORARY STORAGE FACILITIES AVAILABLE WITH THE PROPERTY MANAGER. THE CONTRACTOR SHALL PROVIDE ALL ADDITIONAL TEMPORARY STORAGE FACILITIES REQUIRED TO PERFORM THE WORK AT HIS EXPENSE.</div><div>2. THE CONTRACTOR SHALL TEMPORARILY MOVE ALL FURNISHINGS AND EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.</div></div></div><div><div><b>DRAWING NAMING KEY</b></div><div><div>XX-X</div><div><div>FLOOR LEVEL OR NUMERIC ORDER OF DRAWING WITHIN DRAWING TYPE</div><div>DRAWING TYPE</div><div>PROFESSIONAL DISCIPLINE</div></div></div></div><div><div><div><div>PLAN NORTH</div><div>TRUE NORTH</div><div>KEY PLAN</div><div>SCALE: 1:1000</div></div></div></div><div><div><b>TITLE SHEET/ GENERAL PROJECT INFORMATION</b></div><div><div><b>Issue/ Revision:</b></div><div><div>No.</div><div>Date</div><div>Description</div></div><div><div>-</div><div>2023-04-18</div><div>For Bidding</div></div></div></div><div><div>Project Manager: CRN</div><div>Project No.: 2022052</div><div>Date: 2023-04-18</div></div><div><div>T-1</div></div></div>			





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Project Name:

## CONSTRUCTION DOCUMENTS

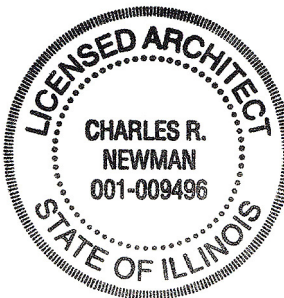
ESWOOD  
SCHOOL

## ROOFING IMPROVEMENTS - SUMMER 2023

ESWOOD ELEMENTARY SCHOOL  
304 N. MAIN STREET  
LINDENWOOD, ILLINOIS 61049

FOR  
BOARD OF EDUCATION  
ESWOOD CCSD 269

Architect's Certification:



License: Illinois Professional Design Firm  
License No. 184-000549

Expires: 2025-05-30

License: Illinois Registration No. 001-009496  
Expires: 2024-11-30

011 =

Charles R Newman      2023-04-18  
Signature      Date

Drawing Title

# SITE LIFE SAFETY SITE REFERENCE PLAN

Issue:/ Revision:

No.	Date	Description
-	2023-04-18	For Bidding

Project Manager: CRM

Project No.: 2022052 Date: 2023-04-1

# A2-0

## DRAWING A2-0 KEYED NOTES









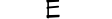

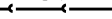
**1** REPLACE FIXTURE

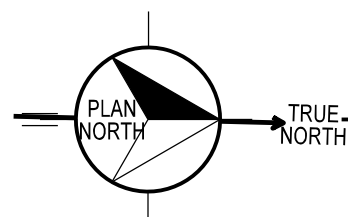
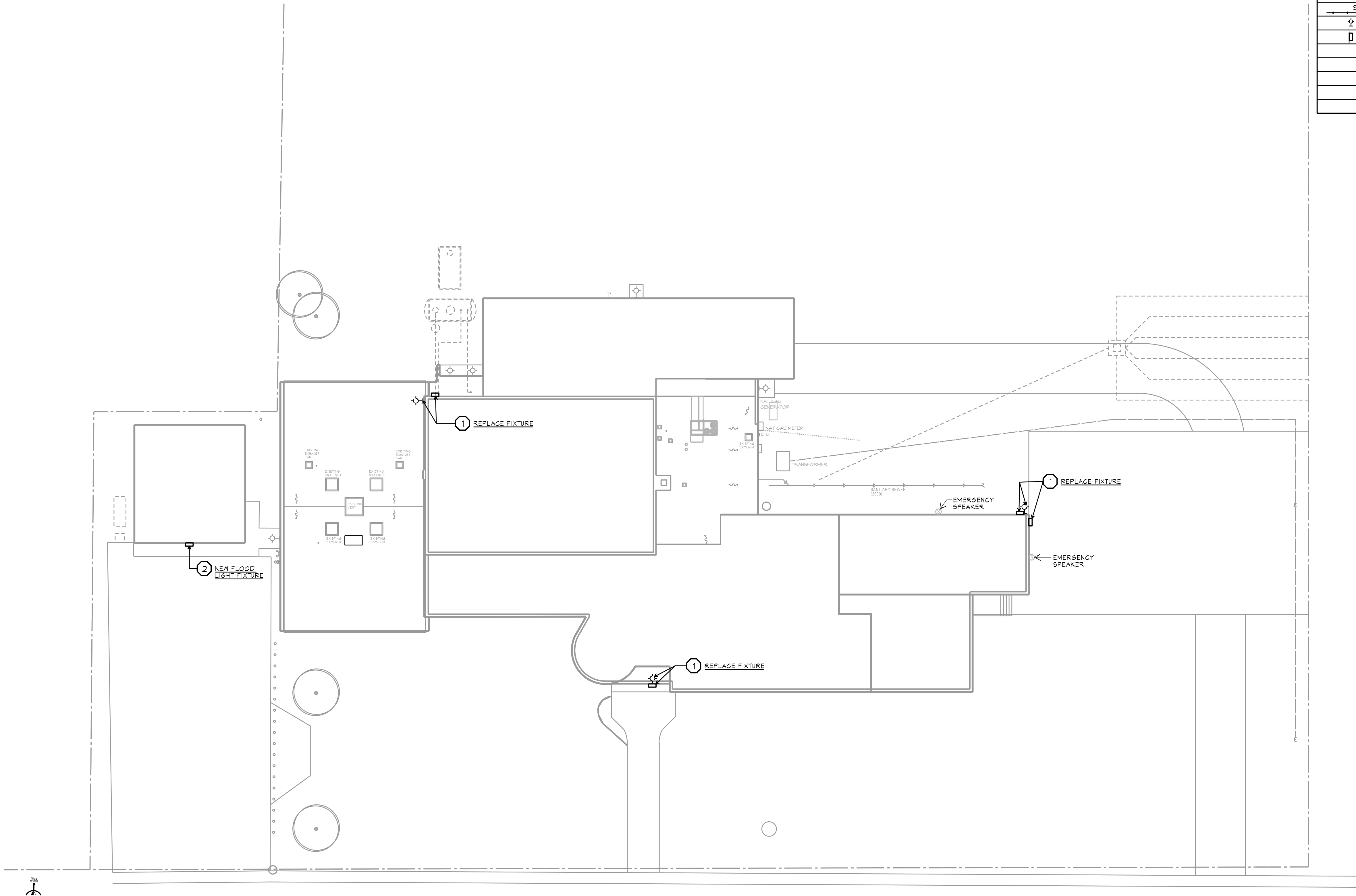
REPLACE EXISTING AREA LIGHT FIXTURE WITH NEW LED FLOOD LIGHT  
FIXTURE. SEE MEP DRAWINGS.

2 NEW FLOOD LIGHT FIXTURE

PROVIDE NEW LED FLOOD LIGHT FIXTURE. SEE MEP DRAWINGS

## SYMBOL LEGEND

SYMBOL	DESCRIPTION
	PROPERTY LINE
	OVERHEAD ELECTRICAL WIRES
	UTILITY POLE
	FIRE HYDRANT
	WATER SUPPLY
	GAS SUPPLY
	ELECTRICAL SUPPLY
	STORM LINE
	SANITARY LINE
	AREA LIGHT TO BE REPLACED
	FLOOD LIGHT TO REPLACE AREA LIGHT



# SITE LIFE SAFETY REFERENCE PLAN

SCALE: 1"=20'-0"

0' 10' 20' 40'



GENERAL DEMOLITION NOTES

- DEMOLITION ITEMS AND/OR AREAS INDICATED ON THIS DRAWING ARE MINIMUM INDICATIONS TO SHOW BASIS OF DESIGN. ADDITIONAL DEMOLITION THAT IS NOT SHOWN HERE MAY BE REQUIRED FOR THE WORK INCLUDED IN THIS PROJECT.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO START OF HIS OPERATIONS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES ENCOUNTERED.
- EACH CONTRACTOR SHALL INCLUDE ALL DEMOLITION IN THE PROJECT REQUIRED TO FULLY EXECUTE THE WORK. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DEMOLITION WORK THAT COULD HAVE BEEN ANTICIPATED AT THE TIME OF BID.
- IF DURING DEMOLITION OR CONSTRUCTION OPERATIONS ENVIRONMENTALLY HARMFUL MATERIALS ARE DISCOVERED OR SUSPECTED THAT MAY BE DISTURBED BY THE CONTRACTOR'S WORK, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF THE RELATED WORK. ENVIRONMENTALLY HAZARDOUS MATERIALS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION MUST BE REMOVED OR ENCAPSULATED BY A PROFESSIONAL, LICENSED BY GOVERNMENTAL AUTHORITIES HAVING JURISDICTION, FOR HANDLING THE SPECIFIC MATERIALS INVOLVED, UNDER A SEPARATE CONTRACT.
- PROTECT ALL EXISTING FINISHES, MATERIALS, OR EQUIPMENT AS REQUIRED TO PREVENT DAMAGE TO ITEMS WHICH ARE TO REMAIN. ANY DAMAGE SHALL BE PATCHED, REPAIRED, OR REPLACED AT CONTRACTOR'S EXPENSE. REPLACEMENT CONSTRUCTION SHALL BE TO AN 'AS-NEW' CONDITION. MATCH ADJACENT, UNDAMAGED MATERIALS AND FINISHES.
- NOTE ON THE DRAWINGS THOSE ITEMS TO BE RETAINED. VERIFY THAT THE LANDLORD/TENANT HAS REMOVED ALL ITEMS THEY WISH TO RETAIN. ALL OTHER ITEMS SHALL BE LEGALLY REMOVED FROM SITE. ITEMS NOTED ON THE DRAWINGS TO BE REMOVED, REINSTALLED, OR STORED SHALL BE HANDLED AS FOLLOWS:  
  
REMOVE: UNLESS NOTED OTHERWISE, ITEMS SHALL BE LEGALLY REMOVED FROM THE SITE.  
  
REMOVE AND REINSTALL: SALVAGE ITEMS AND ALL ASSOCIATED SUPPORT SYSTEMS AND ACCESSORIES IN THEIR ENTIRETY, AND TEMPORARILY WRAP, PROTECT AND STORE. CLEAN AND REPAIR TO LIKE-NEW CONDITION PRIOR TO REINSTALLATION. REINSTALL ITEMS PER MANUFACTURER'S RECOMMENDATIONS.  
  
STORE: PROTECT ITEMS FOR PERMANENT STORAGE. WRAP AND STORE WHERE DIRECTED BY THE PROPERTY MANAGER.

- COORDINATE REMOVAL OF EXISTING BUILDING COMPONENTS WITH INSTALLATION OF EITHER TEMPORARY CONSTRUCTION OR NEW BUILDING COMPONENTS. TEMPORARY INFILL OR COVERINGS SHALL BE VANDAL-PROOF AND WATER-TIGHT. ANY DAMAGE DUE TO VANDALISM OR WATER INFILTRATION WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

GENERAL DEMOLITION NOTES

- THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS AND COORDINATE WITH APPROPRIATE TRADES. THIS INCLUDES LOCATIONS OF UTILITIES WITHIN EXISTING WALLS. IF ITEMS NOTED TO BE REMOVED ARE REQUIRED TO REMAIN, IMMEDIATELY CONTACT THE ARCHITECT FOR CLARIFICATION ON HOW TO PROCEED. RETAIN CONTINUITY IN PORTIONS OF SYSTEMS TO REMAIN AS REQUIRED BY CODE.
- AVOID SPREAD OF DEMOLITION DUST AND DEBRIS OR EXCESSIVE NOISE TO ADJACENT OCCUPIED AREAS. PROVIDE TEMPORARY DUST PROTECTION AND NOISE REDUCTION BARRIERS FOR THE DURATION OF DEMOLITION / CONSTRUCTION OPERATIONS.
- ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE. DEMOLITION OPERATIONS SHALL NOT ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- PENETRATIONS THROUGH EXISTING CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF EXISTING STRUCTURAL SYSTEMS.
- REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION, AND FOR LOCATIONS OF PENETRATIONS THROUGH EXISTING CONSTRUCTION.
- ALL NEW PENETRATIONS SHALL PRESERVE THE EXISTING FIRE RATINGS AND BUILDING COMPONENT WARRANTIES.

GENERAL DEMOLITION NOTES

- ALL EXISTING EQUIPMENT AND SERVICES SERVING AREAS OUTSIDE THE AREA OF RENOVATION ARE TO REMAIN OPERATIONAL DURING DEMOLITION / CONSTRUCTION. ANY TEMPORARY WIRING, ETC. REQUIRED TO ACHIEVE THIS IS THE RESPONSIBILITY OF THE CONTRACTOR. SHUT DOWN OF EXISTING SERVICES SHALL ONLY BE PERMITTED UPON WRITTEN APPROVAL OF THE PARTIES IMPACTED, AND THEN ONLY FOR THE DATE AND DURATION AGREED UPON IN WRITING. THE CONTRACTOR SHALL INCLUDE ALL PREMIUM TIME CHARGES IN HIS PROPOSAL PRICE.
- IN PREPARATION FOR FINISH MATERIALS, REMOVE ALL SCREWS, NAILS, HANGERS, BRACKETS, HOLDERS, PLACARDS, ETC. NOT INTENDED TO BE REUSED. REMOVE EXISTING FINISHES AND/OR REPAIR SURFACES AS REQUIRED, READY FOR SPECIFIED FINISHES. WHERE A QUESTION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION. SEE ALSO FINISH PLANS AND FINISH NOTES.

PROJECT SPECIFIC DEMOLITION NOTES

- SEE ALSO MEP DRAWINGS AND REFLECTED CEILING PLANS FOR ADDITIONAL DEMOLITION NOTES.

FIRE RATING LEGEND

2 hour	-----
1 hour	-----
45 minute	-----
30 minute	-----
20 minute / 1/3 HR	-----
ONE HOUR SMOKE	-----

GENERAL REFLECTED CEILING PLAN NOTES

- VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. IF DURING THE GRID LAYOUT A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- CENTER NEW CEILING GRID WITHIN ROOMS UNLESS NOTED OR SHOWN OTHERWISE. CONTRACTOR SHALL MEASURE AREA AND ESTABLISH LAYOUTS TO AVOID CEILING TILES LESS THAN 4" WIDE AT PERIMETER. WHERE CEILING LAYOUT CONFLICTS WITH THE ABOVE, NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.
- INSTALL ALL WORK IN A LEVEL MANNER NOT EXCEEDING 1/8" IN 12'-0" VERTICALLY. INSTALL SUSPENSION WIRES NO GREATER THAN 4'-0" O.C. EXPOSED FASTENERS, INCLUDING POP RIVETS, SCREWS, ETC., ARE NOT PERMITTED WHERE VISIBLE FROM AN OCCUPIED LOCATION.
- SUSPEND ACOUSTICAL CEILING SYSTEM PER ASTM E580. PROVIDE ADDITIONAL HANGER TIES OR HEAVIER GAUGE TIES PER MANUFACTURER'S RECOMMENDATIONS FOR EXTRA HEAVY LOADS OR LOCAL SEISMIC REQUIREMENTS PER CODE.
- INDEPENDENTLY SUSPEND LIGHT FIXTURES FROM STRUCTURE ABOVE AS REQUIRED BY LOCAL CODE.
- ALL NEW CEILING SYSTEMS SHALL MATCH EXISTING IN MIDDLE SCHOOL UNLESS NOTED OTHERWISE. PROVIDE SAG RESISTANT CEILING TILE.
- ALL NEW OR RELOCATED DEVICES, INCLUDING DIFFUSERS AND GRILLES, LIGHT FIXTURES, FIRE ALARM DEVICES, SPRINKLER HEADS, ETC. SHALL BE CENTERED WITHIN 2x2 PORTION OF CEILING TILES.
- LOCATE LIGHT FIXTURES, DIFFUSERS AND GRILLES, EXIT SIGNS, ETC. AS SHOWN ON REFLECTED CEILING PLANS. WHERE A CONFLICT OCCURS OR INTENT IS UNCLEAR, CONTACT THE ARCHITECT FOR CLARIFICATION.
- SEE DRAWING A3-1 FOR NEW CEILINGS IN EXISTING TOILET ROOMS 104 & 106.
- REFER TO MEP DRAWINGS FOR GENERAL FIRE PROTECTION, PLUMBING, VENTILATION AND ELECTRICAL NOTES.

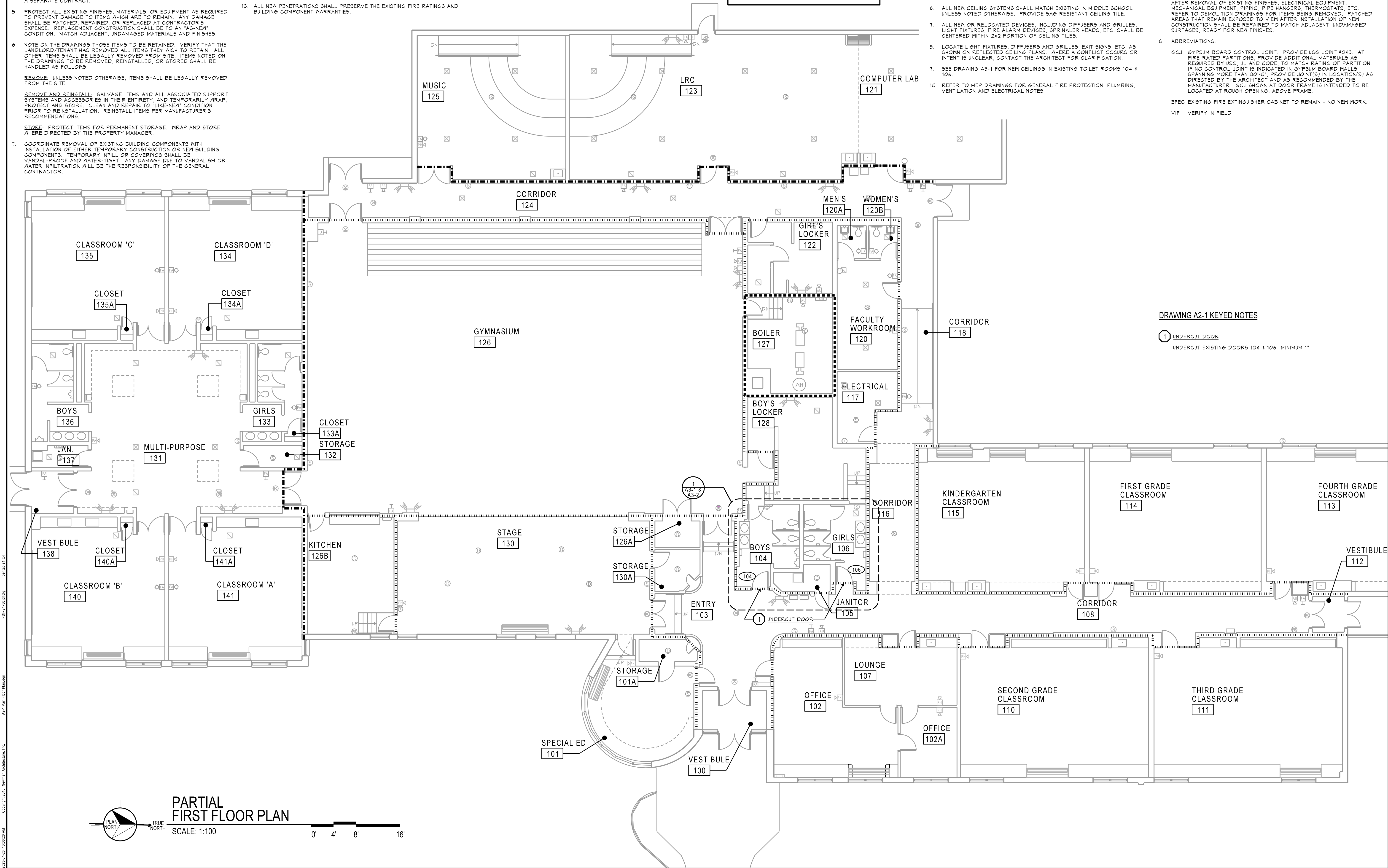
GENERAL FLOOR PLAN NOTES

- CONTRACTOR SHALL FIELD-VERIFY ALL DIMENSIONS NOTED ON DRAWINGS. IF DURING THE LAYOUT PROCESS A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- REFER TO ENLARGED PLANS FOR ADDITIONAL PARTITION INFORMATION, NOTES AND DIMENSIONS.
- ALL DIMENSIONS ARE FROM FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.
- DIMENSIONS NOTED AS "CLEAR DIMENSIONS" ARE TO FINISHED SURFACES (FACE OF CERAMIC TILE OR WALL COVERING, ETC.) FOR CODE COMPLIANCE.
- FOR ALL MINOR PENETRATIONS IN RATED WALLS / FLOOR SYSTEMS (10" DIAMETER OR LESS), PROVIDE FIRE SAFING AND SEALANT AROUND PENETRATING ELEMENT TO MAINTAIN EXISTING SMOKE OR FIRE SEPARATION PER CODE.
- PROTECT ALL EXISTING SURFACES WHICH ARE TO REMAIN.
- FILL AND PATCH ALL HOLES IN EXISTING WALLS AND CEILINGS REMAINING AFTER REMOVAL OF EXISTING FINISHES, ELECTRICAL EQUIPMENT, MECHANICAL EQUIPMENT, PIPING, PIPE HANGERS, THERMOSTATS, ETC. REFER TO DEMOLITION DRAWINGS FOR ITEMS BEING REMOVED. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION SHALL BE REPAIRED TO MATCH ADJACENT, UNDAMAGED SURFACES, READY FOR NEW FINISHES.
- ABBREVIATIONS:  
GCJ GYPSUM BOARD CONTROL JOINT. PROVIDE USG JOINT #093. AT FIRE-RATED PARTITIONS, PROVIDE ADDITIONAL MATERIALS AS REQUIRED BY USG, UL AND CODE. TO MATCH RATINGS OF PARTITION. IF NO CONTROL JOINT IS INDICATED IN GYPSUM BOARD WALLS SPANNING MORE THAN 30'-0", PROVIDE JOINT(S) IN LOCATION(S) AS DIRECTED BY THE ARCHITECT AND AS RECOMMENDED BY THE MANUFACTURER. GCJ SHOWN AT DOOR FRAME IS INTENDED TO BE LOCATED AT ROUGH OPENING, ABOVE FRAME.

EFEC EXISTING FIRE EXTINGUISHER CABINET TO REMAIN - NO NEW WORK.  
VIF VERIFY IN FIELD

DRAWING A2-1 KEYED NOTES

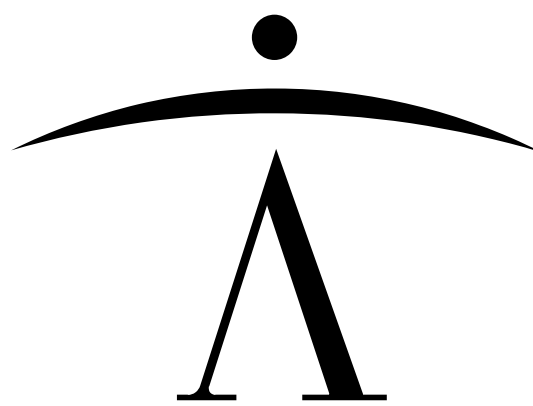
- UNDERCUT DOOR  
UNDERCUT EXISTING DOORS 104 & 106. MINIMUM 1"



PARTIAL FIRST FLOOR PLAN

SCALE: 1:100

0' 4' 8' 16'



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(847) 882-2010

Project Name:

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Expires: 2024-11-30

Signature: *Charles R. Newman* Date: 2023-04-18

Drawing Title:

PARTIAL FIRST FLOOR  
PLAN

Issue/ Revision:

No.	Date	Description
-	2023-04-18	For Bidding

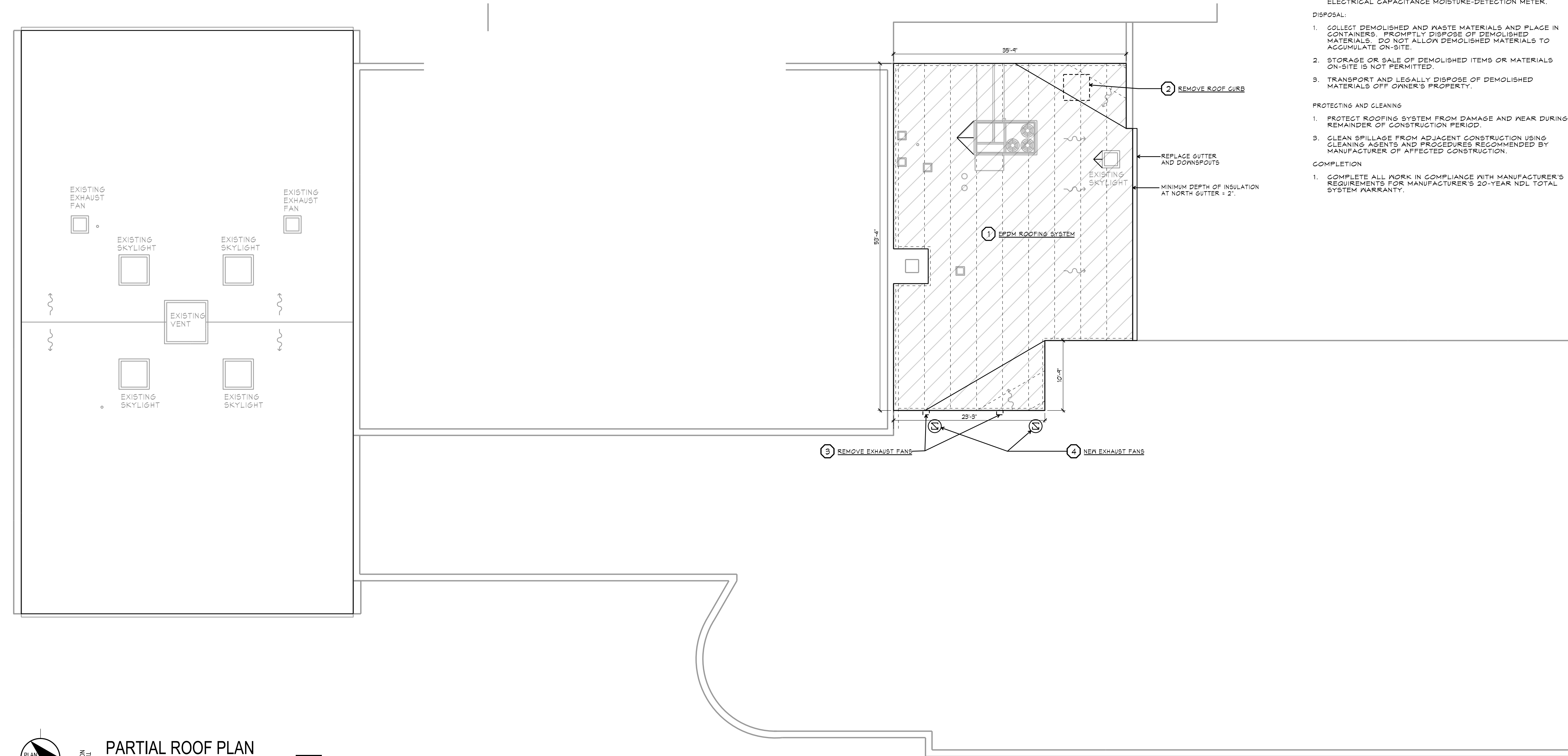
Project Manager: CRN

Project No.: 2022052 Date: 2023-04-18

A2-1



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PARTIAL ROOF PLAN  
SCALE: 1/4"=1'-0"

DRAWING A2-R KEYED NOTES

1. **EPDM ROOFING SYSTEM**  
REMOVE THE EXISTING ROOFING SYSTEM TO THE EXISTING DECK, INCLUDING FLASHINGS, GUTTERS AND DOWNSPOUTS. REPAIR/REPLACE DAMAGED PORTIONS OF EXISTING DECK. PROVIDE NEW 60MIL EPDM FULLY ADHERED ROOFING SYSTEM ON TAPERED POLY-ISOCYANURATE INSULATION FOR A MINIMUM 1/4"/FOOT SLOPE. MINIMUM INSULATION THICKNESS AT GUTTER = 2.0". PROVIDE A MANUFACTURER'S 20-YEAR NDL TOTAL SYSTEM WARRANTY. APPROVED MANUFACTURERS INCLUDE CARLISLE SYNTEC SYSTEMS, FIRESTONE, JOHNS MANVILLE, OR ARCHITECT APPROVED EQUAL.
2. **REMOVE ROOF CURB**  
REMOVE ABANDONED ROOF CURB TO DECK. REPAIR DECK AS REQUIRED. EXTEND NEW ROOFING SYSTEM OVER THIS AREA.
3. **REMOVE EXHAUST FANS**  
REMOVE EXISTING TOILET ROOM EXHAUST FANS. FILL OPENINGS WITH MASONRY TO MATCH EXISTING.
4. **NEW EXHAUST HOOD**  
REMOVE EXISTING GRAVITY VENTS ABOVE TOILET ROOMS. PROVIDE NEW EXHAUST HOODS ON EXISTING OR NEW ROOF CURBS AS REQUIRED TO ACHIEVE MINIMUM 12" FROM TOP OF ROOF CURB TO ROOF MEMBRANE. (SEE MEP DRAWINGS FOR MEP INFORMATION). MODIFY EXISTING ROOF FLASHING AS REQUIRED TO MAINTAIN EXISTING WARRANTY ON EXISTING BUILT-UP GOAL TAR PITCH ROOFING SYSTEM. WARRANTY PROVIDED BY MODERMAID ROOFING.

GENERAL ROOFING IMPROVEMENT NOTES

- PREPARATION:
- PROTECT EXISTING ROOFING SYSTEMS THAT ARE NOT INDICATED TO BE MODIFIED.
  - PROTECT ADJACENT PORTIONS OF BUILDING AND BUILDING EQUIPMENT THAT ARE TO REMAIN.
  - LIMIT THE SPREAD OF DUST AND DEBRIS.
  - SHUT DOWN ALL AIR INTAKE EQUIPMENT IN THE VICINITY OF THE WORK. COVER AIR INTAKE LOUVERS THAT COULD ALLOW CONTAMINATION OF DUCTWORK OR ACTIVATE SMOKE DETECTORS BEFORE PROCEEDING WITH ROOFING WORK. RESTORE TO NORMAL OPERATION AT COMPLETION OF THE WORK.
  - MAINTAIN ROOF DRAINAGE SYSTEM TO ENSURE PROPER/ADEQUATE ROOF DRAINAGE AT THE END OF EACH WORKDAY. PREVENT DEBRIS FROM ENTERING OR BLOCKING ROOF DRAINS AND CONDUCTORS. USE ROOF-DRAIN PLUGS SPECIFICALLY DESIGNED FOR THIS PURPOSE. REMOVE ROOF-DRAIN PLUGS AT END OF EACH WORKDAY, WHEN NO WORK IS TAKING PLACE, OR WHEN RAIN IS FORECAST. DO NOT PERMIT WATER TO ENTER INTO OR UNDER EXISTING MEMBRANE ROOFING SYSTEM COMPONENTS THAT ARE TO REMAIN.

ROOFING PREPARATION:

- REMOVE THE ENTIRE EXISTING ROOFING SYSTEM TO THE EXISTING DECK. REPLACE DAMAGED DECK COMPONENTS AS REQUIRED TO ASSURE A STRUCTURALLY SOUND DECKING SYSTEM.

SURFACE PREPARATION:

- CLEAN SUBSTRATE OF CONTAMINANTS SUCH AS DIRT, DEBRIS, OIL, AND GREASE THAT CAN AFFECT ADHESION OF NEW ROOFING SYSTEM COMPONENTS PER ROOFING SYSTEM MANUFACTURER'S RECOMMENDATIONS.
- DISPOSE OF WASTE IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- VERIFY THAT EXISTING SUBSTRATE IS DRY BEFORE PROCEEDING WITH THE APPLICATION OF NEW ROOFING SYSTEM COMPONENTS. SPOT CHECK SUBSTRATES WITH AN ELECTRICAL CAPACITANCE MOISTURE-DETECTION METER.

DISPOSAL:

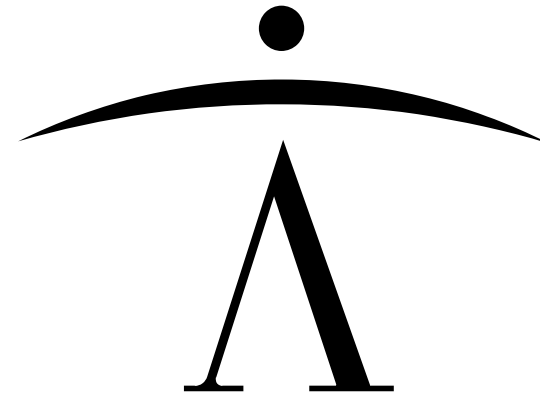
- COLLECT DEMOLISHED AND WASTE MATERIALS AND PLACE IN CONTAINERS. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- STORAGE OR SALE OF DEMOLISHED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED.
- TRANSPORT AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS OFF OWNER'S PROPERTY.

PROTECTING AND CLEANING

- PROTECT ROOFING SYSTEM FROM DAMAGE AND WEAR DURING REMAINDER OF CONSTRUCTION PERIOD.
- CLEAN SPILLAGE FROM ADJACENT CONSTRUCTION USING CLEANING AGENTS AND PROCEDURES RECOMMENDED BY MANUFACTURER OF AFFECTED CONSTRUCTION.

COMPLETION

- COMPLETE ALL WORK IN COMPLIANCE WITH MANUFACTURER'S REQUIREMENTS FOR MANUFACTURER'S 20-YEAR NDL TOTAL SYSTEM WARRANTY.



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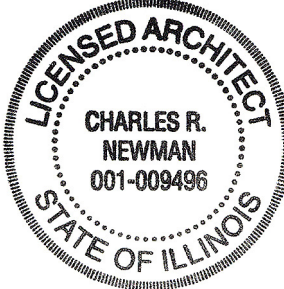
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Charles R. Newman

Signature

2023-04-18

Date

Drawing Title:

PARTIAL ROOF PLAN

Issue/ Revision:

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Project Manager: CRN

Project No.: 2022052

Date: 2023-04-18

A2-R



## GENERAL FINISH PLAN NOTES

- SEE DRAWING A3-1 FOR ADDITIONAL GENERAL FINISH NOTES.

### GENERAL PAINT NOTES

- CONTRACTOR SHALL FIELD VERIFY EXTENT OF PAINTING AND COLORS REQUIRED. SUBMIT DRAW-DOWNS OF EACH COLOR TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- SURFACES NOTED TO BE PAINTED, AS WELL AS FLOORS AND ADJACENT SURFACES, SHALL BE CLEAN, WILDER EFFLORESCENCE AND ALL FOREIGN MATERIAL SHALL BE REMOVED FROM SURFACES BY APPROPRIATE METHODS. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS.
- PRIME ALL UNFINISHED SURFACES SCHEDULED TO RECEIVE WALLCOVERING OR PAINT PRIOR TO FINISHING AS RECOMMENDED BY MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR EACH SUBSTRATE.
- CONTRACTOR SHALL APPLY ALL PAINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALL COATS MUST BE THOROUGHLY DRY BEFORE APPLYING SUCCEEDING COATS. USE APPLICATIONS AND TECHNIQUES BEST SUITED FOR SUBSTRATE AND TYPE OF MATERIAL BEING APPLIED. PROVIDE TOTAL NUMBER OF COATS AS REQUIRED TO COVER.

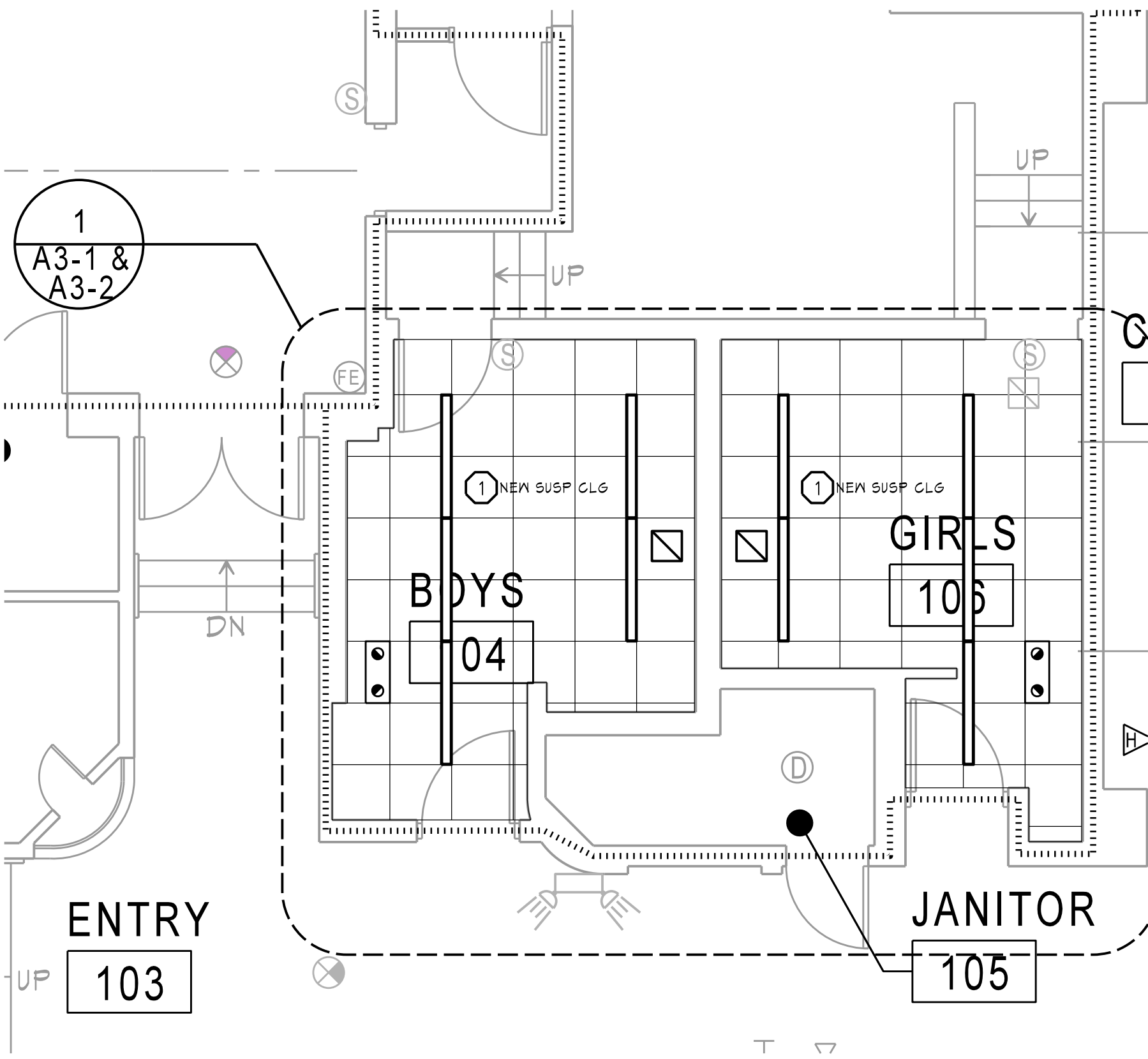
### FINISH KEY

XX-X	DENOTES WALL FINISH U.O.
XX-X	DENOTES FLOOR FINISH
XX-X	DENOTES WALL BASE
XX-X	DENOTES FINISH ON SPECIFIC SURFACE
[XX-X]	DENOTES FINISH ON REFERENCED SURFACE

### PAINT SCHEDULE

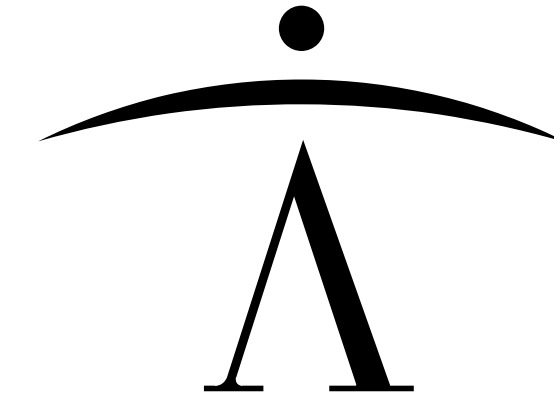
- ALL PAINTS SHALL BE LATEX-BASED, AS INDICATED IN FINISH SCHEDULE. HOLLOW METAL DOORS AND FRAMES SHALL BE PAINTED WITH ENAMEL-BASED PAINT. NO SUBSTITUTIONS.
- ALL UNFINISHED WALLBOARD INDICATED TO RECEIVE PAINT OR WALLCOVERING SHALL BE PRIMED WITH ONE (1) COAT SHERWIN-WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER.
- ALL UNFINISHED PLYWOOD INDICATED TO RECEIVE PAINT SHALL BE PRIMED WITH ONE (1) COAT SHERWIN-WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER.
- ALL UNPAINTED CMU SURFACES INDICATED TO RECEIVE PAINT SHALL RECEIVE ONE COAT OF LATEX BASED INTERIOR/EXTERIOR BLOCK FILLER, THEN LATEX FINISH COATS AS NOTED ABOVE FOR TYPE OF SURFACE.
- ALL UNPRIMED METAL SURFACES INDICATED TO RECEIVE PAINT, INCLUDING LINTELS AND HOLLOW METAL DOORS AND FRAMES, SHALL BE PRIMED WITH ONE (1) COAT RUST-INHIBITING PRIMER (BENJAMIN MOORE ALKYL ENAMEL UNDER BODY PRIMER). EXTERIOR LINTEL, DOOR & FRAME COLOR SHALL MATCH EXISTING EXTERIOR ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE.
- ALL WALLS AND VERTICAL SURFACES OF SOFFITS AND HEADERS INDICATED TO RECEIVE PAINT SHALL RECEIVE MINIMUM OF TWO (2) COATS OF COLOR INDICATED ON PLAN. PAINT FINISH SHALL BE "FLAT" UNLESS NOTED OTHERWISE.
- ALL INTERIOR HOLLOW METAL DOORS AND FRAMES INDICATED TO RECEIVE PAINT SHALL BE PAINTED AS NOTED IN FINISH SCHEDULE. SEE FINISH SCHEDULE ON DRAWING A3-1.
- ALL MISCELLANEOUS METAL SURFACES SHOWN TO BE PAINTED SHALL RECEIVE MINIMUM OF TWO (2) COATS, ALKYL ENAMEL PAINT, FINISH SEMI-GLOSS, COLOR AS INDICATED.
- PAINTS AND COATINGS SHALL COMPLY WITH THE FOLLOWING VOC LIMIT (GRAMS/LITER LESS WATER):
  - ARCHITECTURAL PAINTS, PRIMERS AND COATINGS - GREEN SEAL STANDARD 55-11, 1993.
  - FLATS: 50 G/L
  - NON-FLATS: 150 G/L
  - ANTI-RUST PAINTS - GREEN SEAL STANDARD 66-03, 1997
  - APPLIED TO FERROUS METAL: 250 G/L
  - CLEAR WOOD FINISHES, STAINS, SEALERS, SHELLACS - SCAQMD RULE 113, 2004
  - CLEAR WOOD FINISH:
    - VARNISH: 350 G/L
    - LACQUER: 550 G/L
  - WATERPROOF SEALERS: 250 G/L
  - SANDING SEALERS: 275 G/L
  - OTHER SEALERS: 200 G/L
  - STAINS: 250 G/L
- PROVIDE PAINTS AS NOTED ON THE FINISH SCHEDULE. PAINTS MAY BE COLOR MATCHED. ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS: BENJAMIN MOORE, DUNN EDWARDS, GLIDDEN, SHERWIN-WILLIAMS, ARCHITECT APPROVED EQUAL.

FINISH SCHEDULE					
TAG	LOCATION	MFG.	PATTERN/COLOR	SIZE	REMARKS
ACT-1	ALL AREAS	ARMSTRONG	TILE: SCHOOL ZONE FINE FISSURED MODEL: 1714 COLOR: WHITE GRID: 15/16"	24" x 24"	NON-DIRECTIONAL SAG RESISTANT CEILING TILE 30-YEAR WARRANTY MATCH SOUTH WING CEILING SYSTEM - VERIFY IN FIELD
PT-1	MATCH EXISTING	SHERWIN WILLIAMS	FINISH: MATCH EXISTING NUMBER/COLOR: MATCH EXISTING	-	FOR TOUCHUP AS REQUIRED
ABBREVIATIONS					
ACT - ACOUSTIC CEILING TILE RB - RUBBER BASE WN - WINDOW COVERINGS	C - CARPET RVS - RIGID VINYL SHEET	CB - CERAMIC BASE SC - SEALED CONCRETE	CT - CERAMIC TILE SS - SOLID SUFACE	LVT - LUXURY VINYL TILE VCT - VINYL COMPOSITION FLOOR TILE	PT - PAINT



### DRAWING A3-1 KEYED NOTES

- NEW SUSP CLG  
PROVIDE A NEW SUSPENDED CEILING. MATCH GRID AND CEILING WITH CEILINGS IN MIDDLE SCHOOL. VERIFY IN FIELD. MOUNT THE CEILING AS HIGH AS POSSIBLE, ALLOWING SPACE FOR SERVICING LIGHTING AND EXISTING OR NEW EQUIPMENT ABOVE CEILING. PROVIDE NEW LIGHT FIXTURES, EMERGENCY LIGHT FIXTURES, RADIANT PANELS AND EXHAUST GRILLES IN NEW CEILINGS. DROP EXISTING SPEAKERS TO BELOW NEW CEILING. SEE MEP DRAWINGS.



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### Project Name:

CONSTRUCTION DOCUMENTS

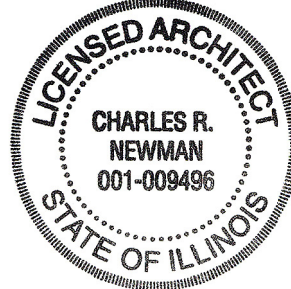
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**ROOFING  
IMPROVEMENTS -  
SUMMER 2023**

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Expires: 2025-05-30

License: Illinois Registration No. 001-009496

Expires: 2024-11-30

*Charles R. Newman* 2023-04-18  
Signature Date

### Drawing Title:

**ENLARGED PLANS &  
REFLECTED CEILING  
PLANS & DETAILS**

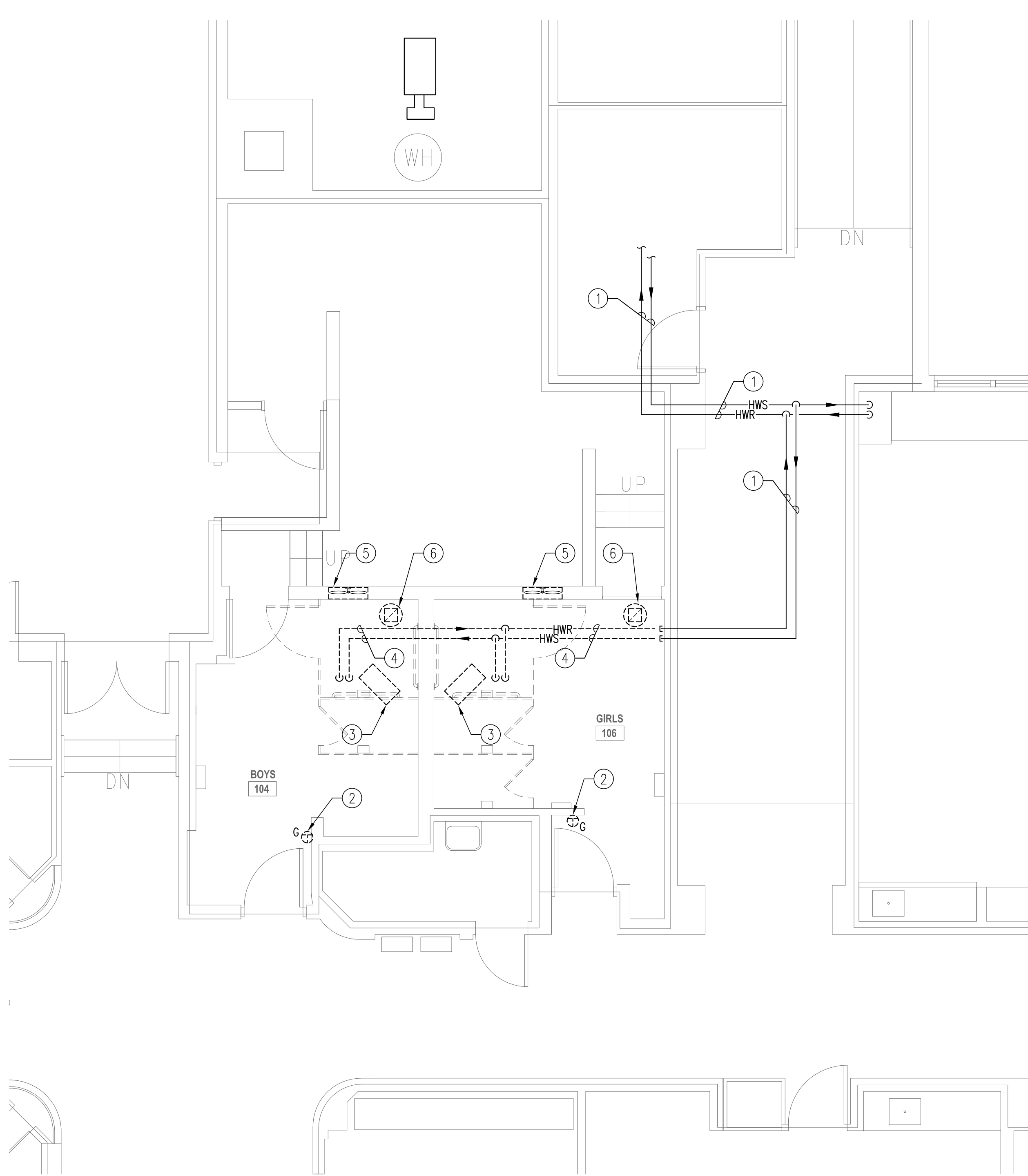
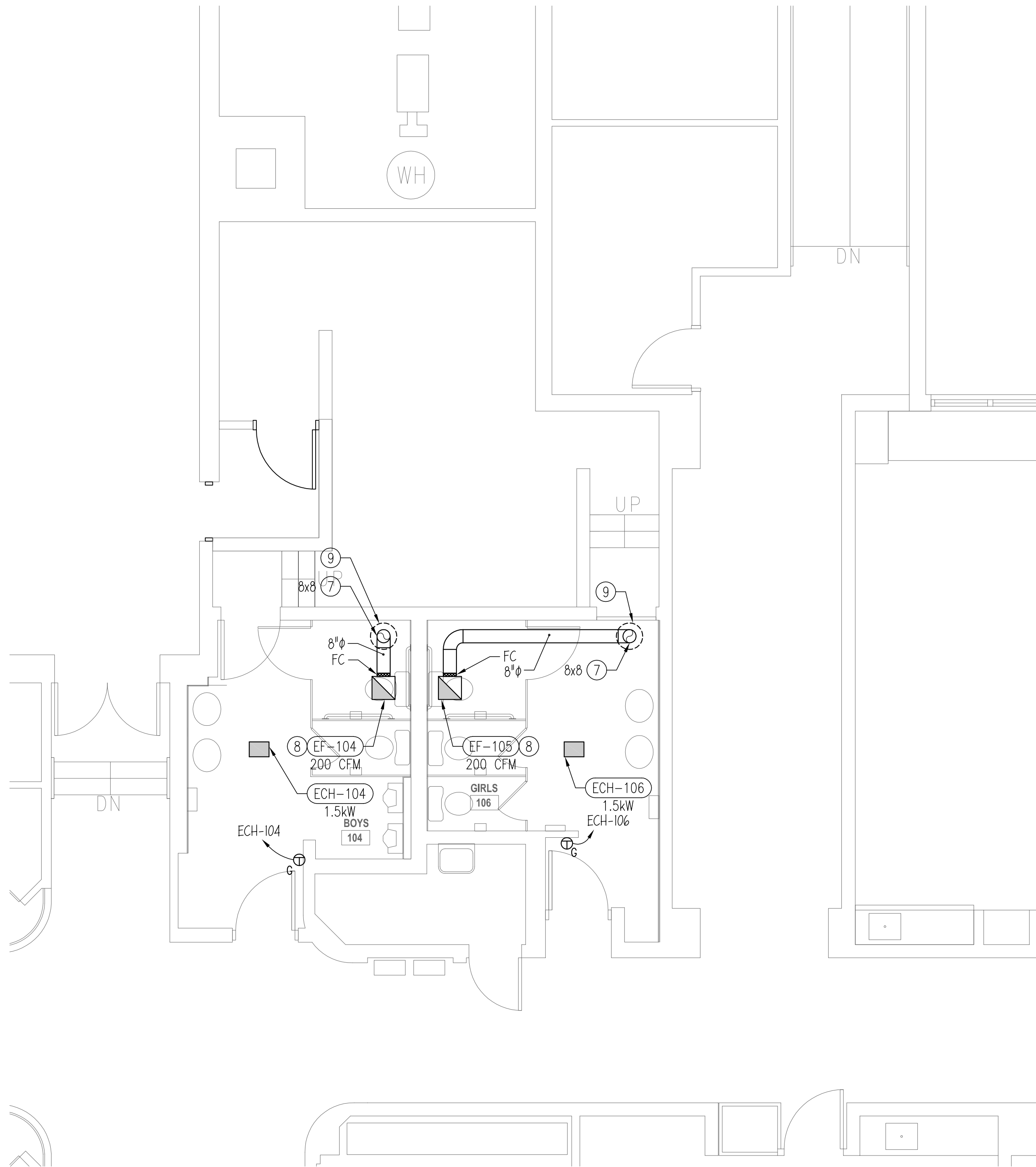
### Issue/ Revision:

No.	Date	Description
-	2023-04-18	For Bidding

Project Manager: CRN  
Project No.: 2022052 Date: 2023-04-18

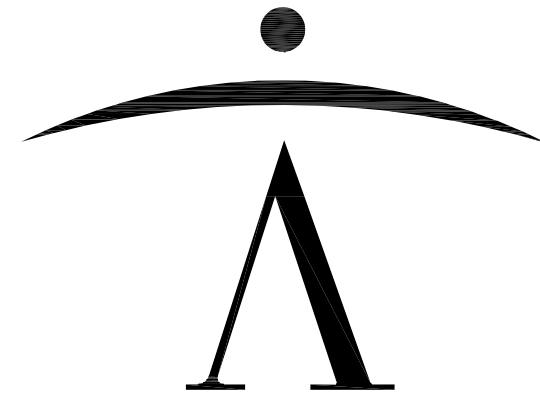
**A3-1**





**DRAWING NOTES:** (TYPICAL FOR THIS DRAWING ONLY.)

- EXISTING PIPING AND VALVING TO REMAIN.
- REMOVE EXISTING THERMOSTAT INCLUDING ALL ASSOCIATED CONDUIT, WIRING, PNEUMATIC TUBING, ETC. LOCATED ABOVE ANY ACCESSIBLE CEILING BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS. PROVIDE BLANK COVER PLATE OVER ALL ABANDONED JUNCTION BOXES IN WALLS THAT ARE TO REMAIN.
- REMOVE SUSPENDED UNIT HEATER AND ALL ASSOCIATED HANGERS, PIPING, VALVING AND CONTROLS.
- REMOVE ALL PIPING, VALVING, HANGERS, INSULATION, ETC. SHOWN DASHED.
- REMOVE EXISTING WALL PROPELLER EXHAUST FAN AND ASSOCIATED WALL CAP, CONTROLS, ETC. PATCH WALL TO MATCH EXISTING.
- REMOVE EXISTING ATTIC VENT ON ROOF AND ALL ASSOCIATED DUCTWORK, GRILLES, INSULATION, ETC. MODIFY EXISTING ROOF OPENING AS REQUIRED FOR NEW EXHAUST DUCTWORK UP THRU ROOF. SEE NEW WORK PLAN ON THIS SHEET FOR MORE INFORMATION.
- MODIFY EXISTING ROOF OPENING AS REQUIRED TO ACCOMMODATE NEW EXHAUST DUCTWORK OF SIZE INDICATED THRU ROOF.
- STEEL ROD SUSPEND FROM STRUCTURE ABOVE WITH NEOPRENE VIBRATION ISOLATORS.
- ROOF HOOD FURNISHED WITH EXHAUST FAN.



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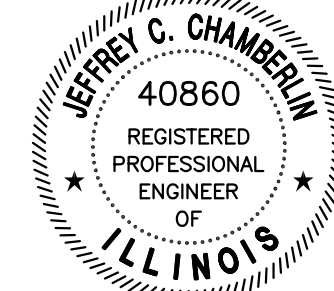
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Expires: 2023-11-30

Signature: *Jeffrey C. Chamberlain* Date: 2023-04-18

Drawing Title:

**ENLARGED HVAC  
PLANS**

Issue/ Revision:

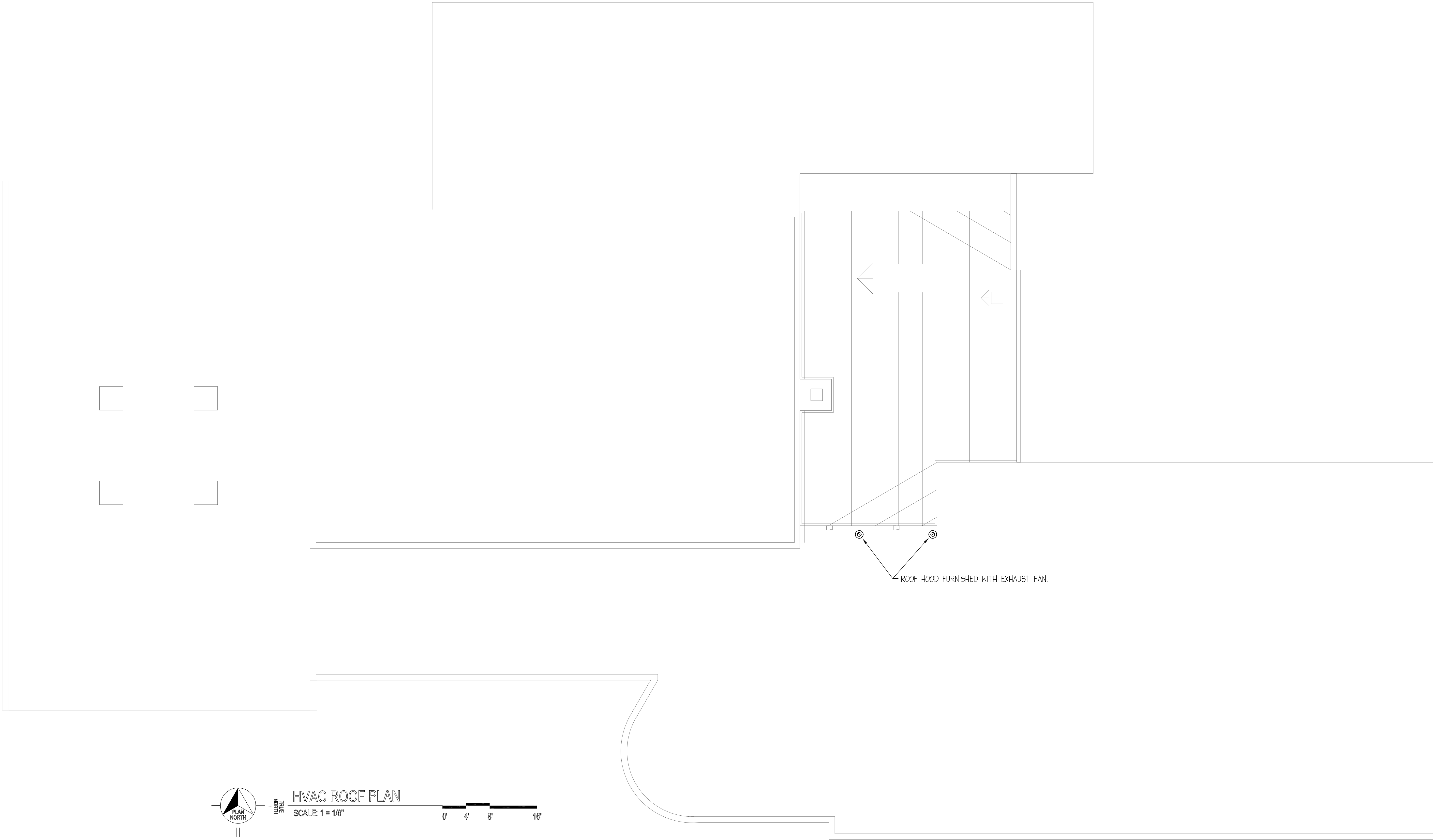
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-	2023-04-18	ISSUED FOR BID

Project Manager: CRN  
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**HV2-1**



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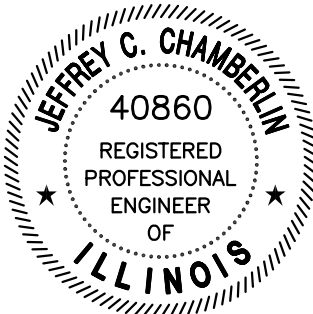
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Drawing Title:

**HVAC ROOF PLAN**

Issue/ Revision:

No.	Date	Description
-	2023-04-18	ISSUED FOR BID

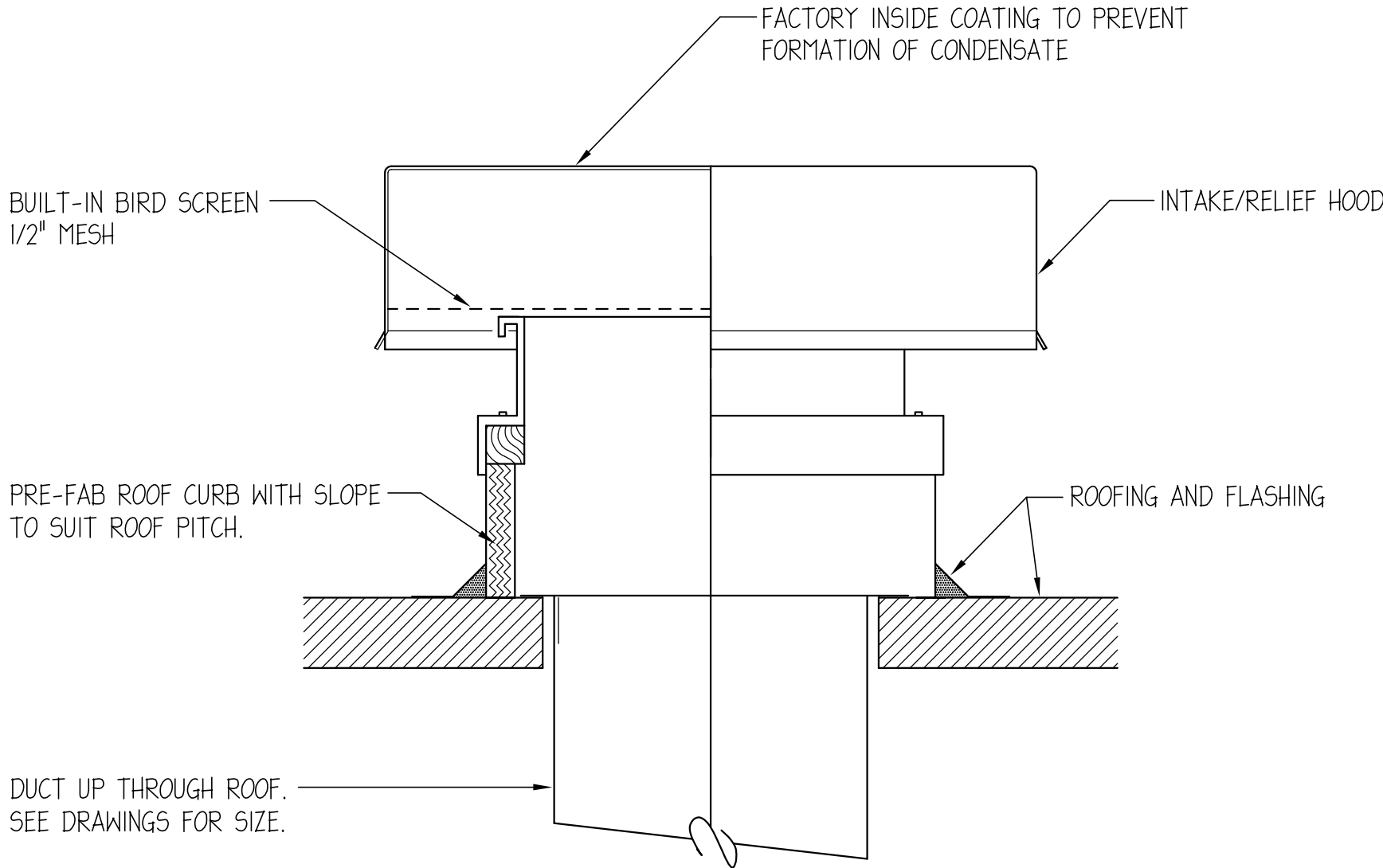
Project Manager: CRN  
Project No.: 2022052 Date: 2023-04-18

**HV2-R**



EXHAUST FAN SCHEDULE																	
EQUIPMENT TAG	LOCATION	AREA SERVED	MANUFACTURER	MODEL	TYPE	DRIVE	MIN. WHEEL DIA (IN.)	CFM	SP (IN.)	MAXIMUM SONES	FAN RPM	BHP	MOTOR				NOTES
													HP	RPM	PHASE	VOLT	
EF-104	TOILET 104	TOILET 104	GREENHECK	SPA-290	CEILING MOUNTED FAN	DIRECT	--	200	0.5	3.5	1156	--	81 WATTS	1350	1	120	1,2,3
EF-105	TOILET 105	TOILET 105	GREENHECK	SPA-290	CEILING MOUNTED FAN	DIRECT	--	200	0.5	3.5	1156	--	81 WATTS	1350	1	120	1,2,3
<div>NOTES:</div> <div><div>1. OTHER ACCEPTABLE MANUFACTURERS: COOK, CARNES, ACME.</div><div>2. PROVIDE THE FOLLOWING OPTIONS: GRAVITY BACKDRAFT DAMPER, DISCONNECT SWITCH OR PLUG, AND NEOPRENE VIBRATION ISOLATION SUSPENSION KIT.</div><div>3. PROVIDE ROOF DISCHARGE ACCESSORY 'GRSR-08' WITH MANUFACTURER'S STANRRAD CURB.</div></div>																	

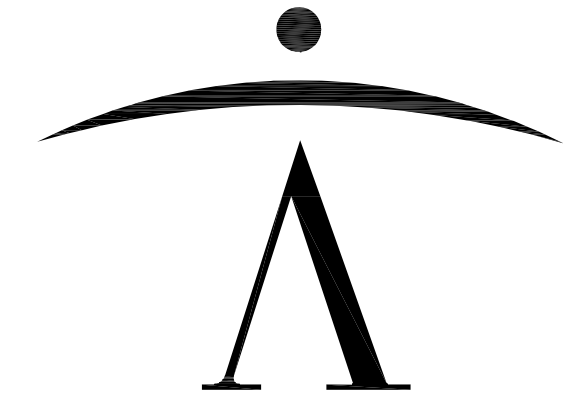
ELECTRIC CEILING HEATER SCHEDULE													
EQUIP. TAG	LOCATION	AREA SERVICE	MANUFACTURER	MODEL	TYPE	SIZE (LxWxD)	CFM	KW	AMPS	PHASE	VOLT	NOTES	
ECH-104	TOILET 104	TOILET 104	MARKEL	3000	RECESSED CEILING	12 1/4x9 1/4 x3 5/8	100	1.5	7.2	1	208	1,2,3,4	
ECH-105	TOILET 105	TOILET 105	MARKEL	3000	RECESSED CEILING	12 1/4x9 1/4 x3 5/8	100	1.5	7.2	1	208	1,2,3,4	
<u>NOTES:</u> 1. OTHER ACCEPTABLE MANUFACTURERS: Q-MARK, BERKO, REDD-I. 2. WALL MOUNT THERMOSTAT WITH GUARD. 3. DISCONNECT SWITCH, 24V RELAY AND TRANSFORMER, FAN DELAY SWITCH. 4. MOUNTING KIT TO MATCH MOUNTING REQUIREMENTS.													



RELIEF HOOD INSTALLATION DETAIL  
NO SCALE

HVAC SYMBOLS AND ABBREVIATIONS

— HWS —	HOT WATER SUPPLY
— HWR —	HOT WATER RETURN
CFM	CUBIC FEET PER MINUTE
ECH	ELECTRIC CEILING HEATER
EF	EXHAUST FAN
ESP	EXTERNAL STATIC PRESSURE
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
SP	STATIC PRESSURE
→	AIR FLOW
12x24	DUCT SIZE FREE AREA (1ST FIGURE, SIDE OF DUCT SHOWN)
⊠	CROSS-SECTION OF SUPPLY OR OUTSIDE AIR INTAKE DUCT
▤	CROSS-SECTION OF RETURN OR EXHAUST DUCT
↗	SQUARE OR RECTANGLE DUCT TRANSITION
↘	SQUARE OR RECTANGLE TO ROUND DUCT TRANSITION
⊠	DUCT UP TO ROOF MOUNTED EXHAUST FAN OR VENTILATOR
XXX-1	EQUIPMENT TAG
⊕G	WALL THERMOSTAT OR TEMPERATURE SENSOR WITH GUARD
∅	ROUND
----	PIPING, DUCTWORK, OR EQUIPMENT TO BE REMOVED



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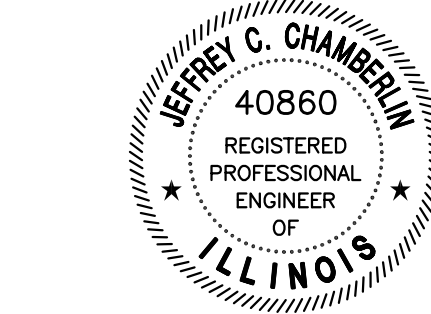
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Expires: 2023-11-30

Signature: [Signature] Date: 2023-04-18

Drawing Title:

HVAC SCHEDULES,  
SYMBOLS, AND DETAILS

Issue/ Revision:

No.	Date	Description
-	2023-04-18	ISSUED FOR BID

Project Manager: CRN  
Project No.: 2022052 Date: 2023-04-18

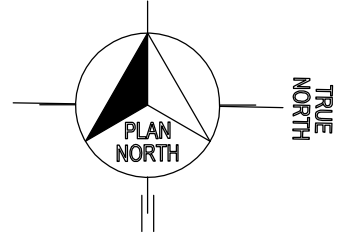
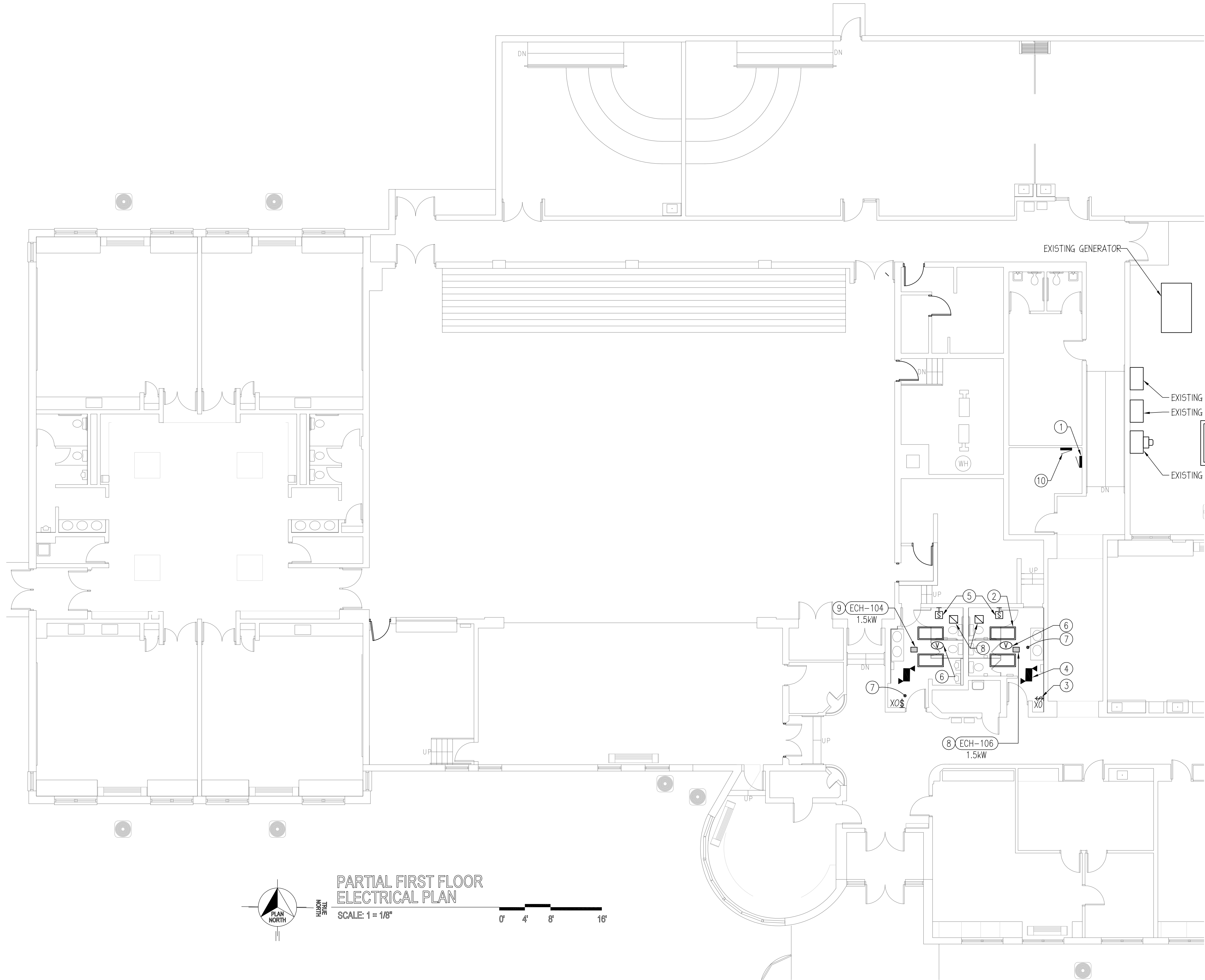
HV3-1







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PARTIAL FIRST FLOOR  
ELECTRICAL PLAN

SCALE: 1 = 1/8"

0' 4' 8' 16'

DRAWING NOTES: (TYPICAL FOR THIS DRAWING ONLY.)

- EXISTING MAIN DISTRIBUTION PANEL, 600A, 208/120V 3Ø, 4W.
- LITHONIA CPANEL-2X4-AL06-SMW7-M2 FLAT PANEL FIXTURE (TYPICAL OF 4).
- SENSOR SWITCH WSRA WALLBOX OCCUPANCY CONTROL AND SWITCH. (TYPICAL OF 2)
- BIG BEAM LM-2-RL-6-5-5 ELMAL EMERGENCY LIGHTING UNIT (TYPICAL OF 2) WIRED AHEAD OF LOCAL SWITCHING.
- EXISTING INTERCOM SPEAKER TO BE LOWERED TO JUST BELOW NEW CEILING. EXTEND EXISTING CONDUCTORS AS REQUIRED.
- NEW CEILING MOUNTED VISUAL DEVICE COMPATIBLE WITH EXISTING EDWARDS FIRE ALARM.
- UTILIZE EXISTING LIGHTING CIRCUIT TO SERVE NEW FIXTURES. MODIFY AND EXTEND EXISTING RACEWAY AND CONDUCTORS AS REQUIRED. EXHAUST FAN TO BE CONTROLLED BY ROOM1 OCCUPANCY SENSOR. POWER FROM CONTROLLED SWITCHLEG.
- WIRE ECH-106 TO PP-2: 37,39. PROVIDE 2#12, 1#12G, 3/4\"/>

EXISTING GENERATOR

EXISTING GENERATOR DISCONNECT

EXISTING PULL BOX

EXISTING UTILITY TRANSFORMER.

EXISTING UTILITY METERING COMPARTMENT AND METER.



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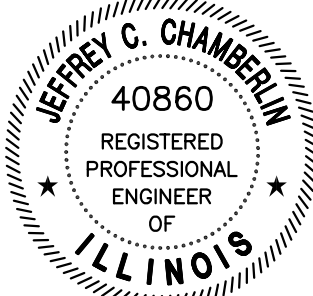
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Expires: 2023-11-30

Signature: *Jeffrey C. Chamberlain*

2023-04-18  
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PARTIAL FIRST FLOOR  
ELECTRICAL PLAN

Issue/ Revision:

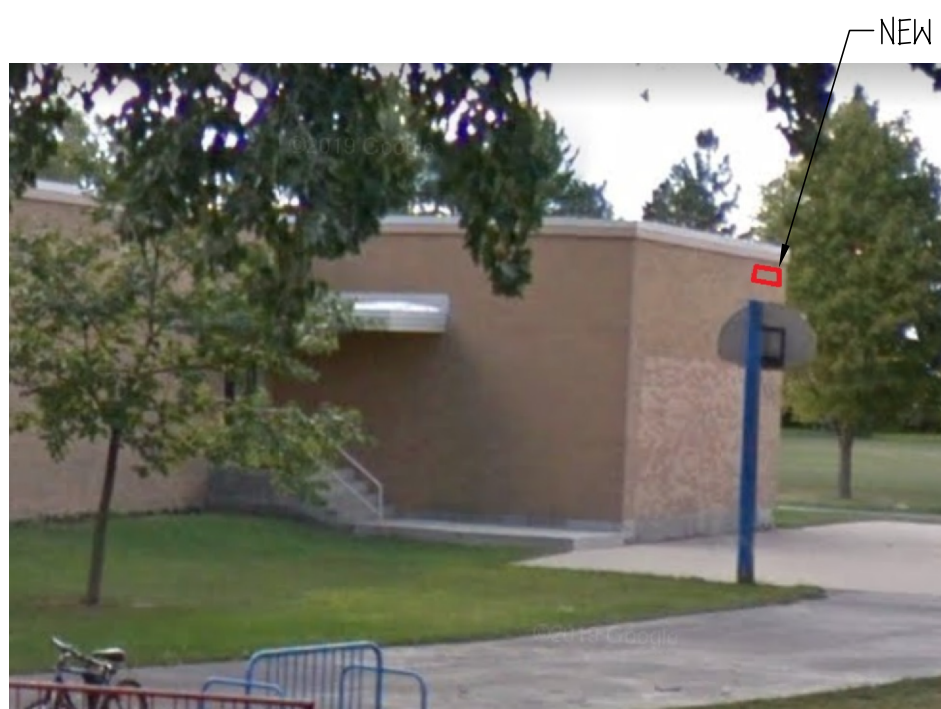
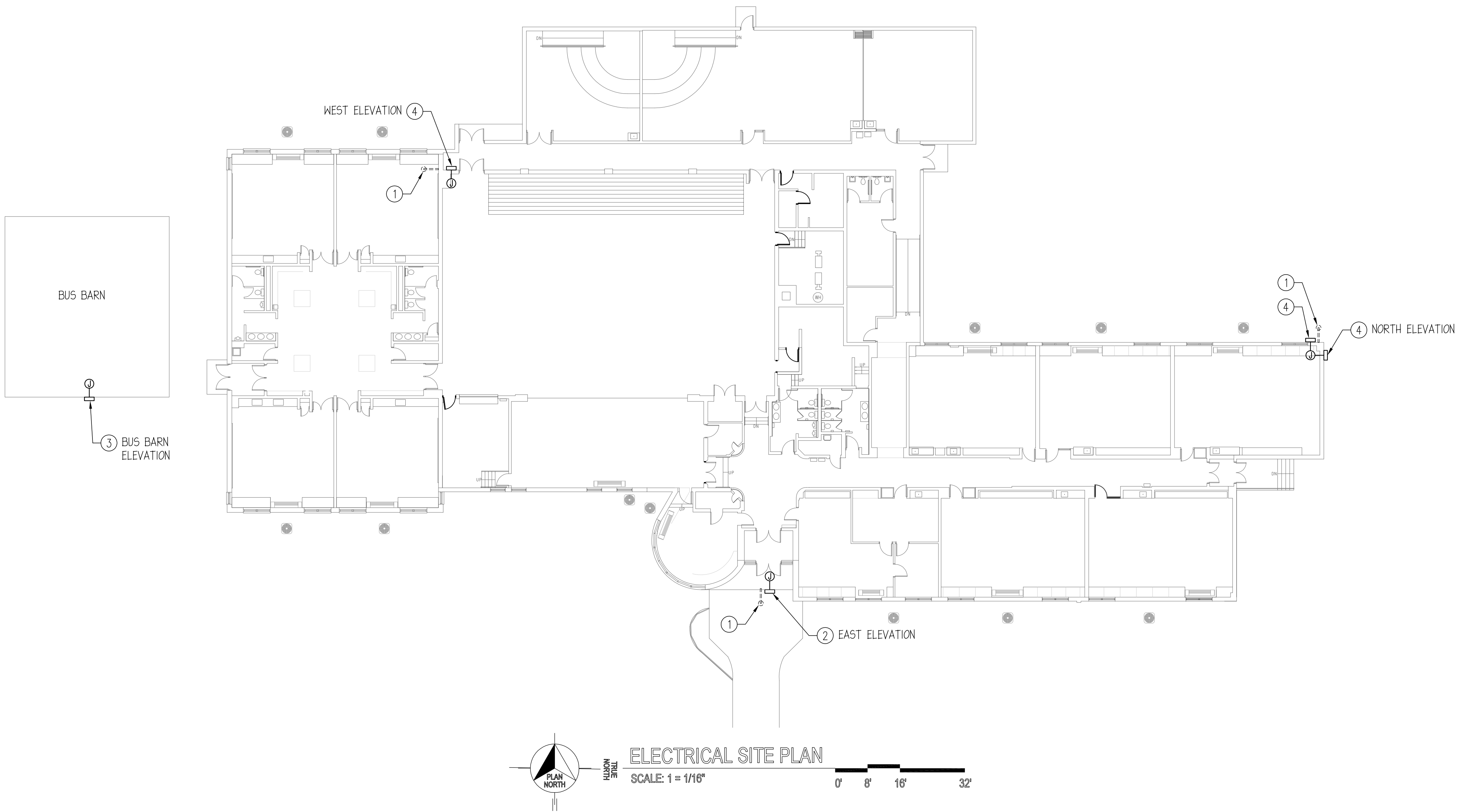
No.	Date	Description
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Project Manager: CRN  
Project No.: 2022052 Date: 2023-04-18

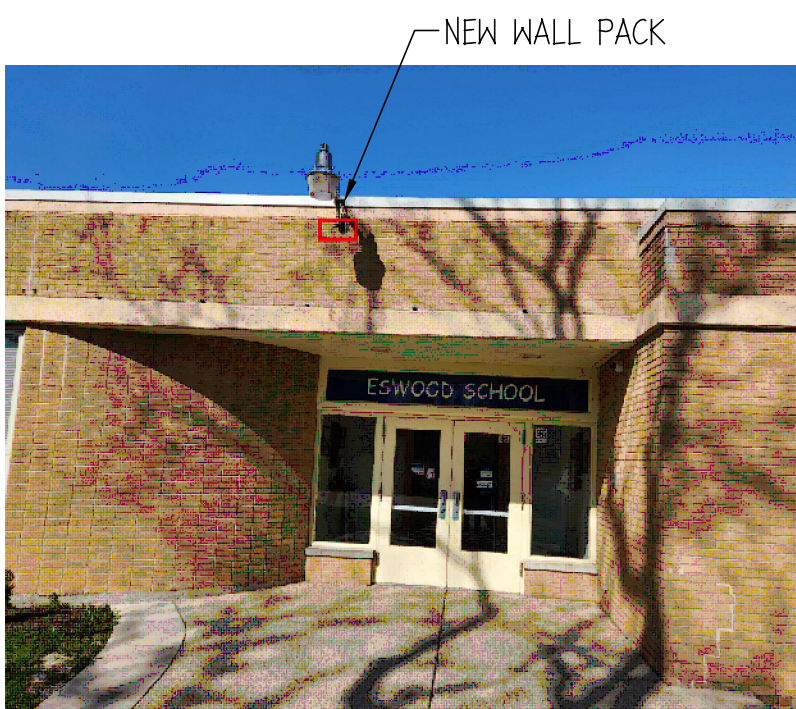
E2-1



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NORTH ELEVATION  
SCALE: NTS



EAST ELEVATION  
SCALE: NTS



WEST ELEVATION  
SCALE: NTS



BUS BARN ELEVATION  
SCALE: NTS

**DRAWING NOTES:** (TYPICAL FOR THIS DRAWING ONLY.)

- ① DEMOLISH EXISTING MAST MOUNTED AREA LIGHT FIXTURE, REMOVED EXPOSED WIRING BACK TO FIRST ACCESSIBLE JUNCTION BOX.
- ② PROVIDE NEW WALL PACK (LITHONIA WST-P2-40K-VW-MVOLT-PBBW-PE) WITH FACTORY PROVIDED SURFACE MOUNT BACK BOX. INTERCEPT EXISTING CIRCUIT SERVING NEARBY DEMOLISHED FIXTURE WITHIN THE BUILDING AND EXTEND RACEWAY AND CONDUCTORS TO NEW FIXTURE. CONDUIT SHALL ENTER SURFACE BACK BOX FROM BACK OF FIXTURE. RACEWAY AND CONDUCTORS SHALL BE 1/2" MINIMUM WITH #12 CONDUCTORS.
- ③ PROVIDE FLOOD LIGHT (LITHONIA RSXF1-LED-P2-40K-AWFD-MVOLT-AAWSC-PE) WITH FACTORY PROVIDED SURFACE MOUNT BACK BOX. INTERCEPT EXISTING UNSWITCHED RECEPTACLE CIRCUIT WITHIN BUS BARN AND EXTEND TO SERVE NEW WALL PACK. CONDUIT SHALL ENTER SURFACE BACK BOX FROM BACK OF FIXTURE. RACEWAY AND CONDUCTORS SHALL BE 1/2" MINIMUM WITH #12 CONDUCTORS.
- ④ PROVIDE FLOOD LIGHT (LITHONIA RSXF1-LED-P2-40K-AWFD-MVOLT-AAWSC-PE) WITH FACTORY PROVIDED SURFACE MOUNT BACK BOX. INTERCEPT EXISTING CIRCUIT SERVING NEARBY DEMOLISHED FIXTURE WITHIN THE BUILDING AND EXTEND RACEWAY AND CONDUCTORS TO NEW FIXTURE. CONDUIT SHALL ENTER SURFACE BACK BOX FROM BACK OF FIXTURE. RACEWAY AND CONDUCTORS SHALL BE 1/2" MINIMUM WITH #12 CONDUCTORS.



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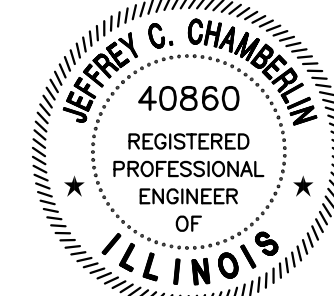
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*Jeffrey C. Chamberlain*  
Signature

2023-04-18  
Date

Drawing Title:

**ELECTRICAL SITE PLAN**

Issue/ Revision:

No.	Date	Description
-	2023-04-18	ISSUED FOR BID

Project Manager: CRN

Project No.: 2022052 Date: 2023-04-18

**E2-2**



POWER SYMBOL LIST

	20A. 2P, 3 WIRE, GROUNDING TYPE, 125V. SPECIFICATION-GRADE, TAMPER RESISTANT DUPLEX RECEPTACLE NEMA 5-20R INSTALLED 16" A.F.F. U.N.O. - "GFI" DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - "WP" DENOTES WEATHER RESISTANT RECEPTACLE WITH WHILE-IN-USE WEATHERPROOF COVER. - "WR" DENOTES WEATHER RESISTANT RECEPTACLE.
	20A. 2P, 3 WIRE, GROUNDING TYPE, 125V. SPECIFICATION-GRADE, TAMPER RESISTANT, DUPLEX RECEPTACLE NEMA 5-20R INSTALLED 6" ABOVE COUNTER TOP OR 42" A.F.F. U.N.O. - "GFI" DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - "WP" DENOTES WEATHER RESISTANT RECEPTACLE WITH WHILE-IN-USE WEATHERPROOF COVER. - "WR" DENOTES WEATHER RESISTANT RECEPTACLE.
	TWO 20A. 2P, 3 WIRE, GROUNDING TYPE, SPECIFICATION-GRADE, TAMPER RESISTANT, DUPLEX RECEPTACLES NEMA 5-20R INSTALLED 16" A.F.F. U.N.O. - "GFI" DENOTES RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER. - "WP" DENOTES WEATHER RESISTANT RECEPTACLE WITH WHILE-IN-USE WEATHERPROOF COVER. - "WR" DENOTES WEATHER RESISTANT RECEPTACLE.
	CEILING JUNCTION BOX.
	WALL MOUNTED JUNCTION BOX.
	JUNCTION BOX WITH FLEXIBLE CONDUIT FOR FINAL CONNECTION TO EQUIPMENT.
	CIRCUIT BREAKER PANELBOARD.
	ELECTRICAL DEVICE MOUNTED ON SURFACE RACEWAY, WIREMOLD V700 MINIMUM.
	SURFACE MOUNTED (EXPOSED) CONDUIT, BACKBOX FOR DEVICE AS SHOWN.
	CONDUIT ROUTED CONCEALED IN WALLS AND CEILING. HASH MARKS DENOTE QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	CONDUIT ROUTED EXPOSED. INSTALL PARALLEL TO WALLS AND CEILINGS. HASH MARKS DENOTE QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	CONDUIT ROUTED BELOW GRADE. HASH MARK DENOTES QUANTITY OF #12 MINIMUM AWG CONDUCTORS OR AS NOTED.
	DENOTES CONDUIT HOMERUN, 3/4" MINIMUM, PANEL DESTINATION AND CIRCUIT NUMBER(S) AS INDICATED.
	SHORT TICK MARK DENOTES LINE (HOT) OR SWITCH LEG CONDUCTOR, #12 MINIMUM AWG.
	LONG TICK MARK DENOTES NEUTRAL CONDUCTOR, #10 AWG MINIMUM.
	DENOTES INSULATED GROUND WIRE, #12 AWG MINIMUM.
	CONDUIT END CAP.
	CONDUIT WALL SLEEVES FOR ROUTING OF LOW VOLTAGE CABLING WITH INSULATED BUSHING. EACH PENETRATION IS TO PROVIDE A MINIMUM OF (1) 1 1/4" CONDUIT (DATA), (1) 1" CONDUIT (FIRE ALARM/INTERCOM) U.N.O.

LIGHTING SYMBOL LIST

	2' X 4' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	2' X 4' PARABOLIC LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	1' X 4' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	2' X 2' LUMINAIRE, RECESSED OR SURFACE MOUNTED PER LUMINAIRE SCHEDULE.
	HALF SHADING DENOTES FIXTURE UNSWITCHED "NIGHTLIGHT".
	SELF-CONTAINED EMERGENCY LUMINAIRE, WITH BATTERY BACK-UP AND SOLID STATE CHARGER PER SCHEDULE. - "WG" DENOTES WIRE GUARD.
	WALL MOUNT COMBINATION OCCUPANCY SENSOR AND SWITCH AS SCHEDULED INSTALLED 48" A.F.F. TO TOP OF DEVICE.

FIRE ALARM SYMBOL LIST

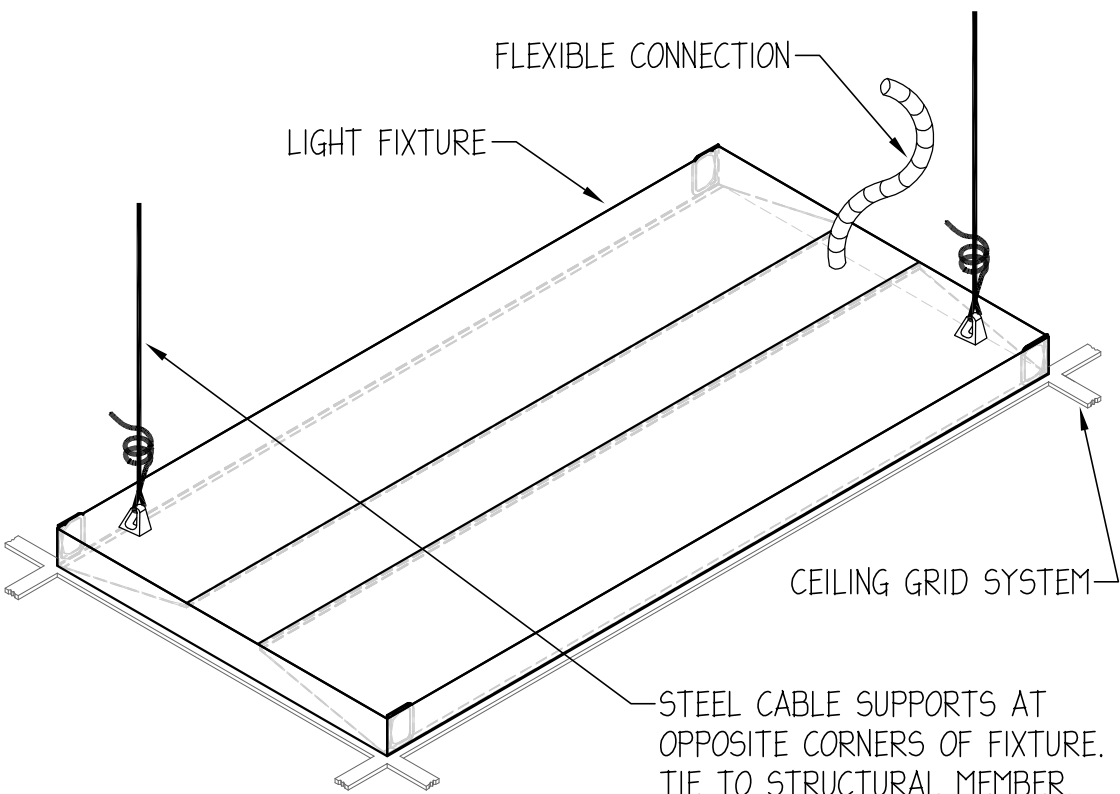
	FIRE ALARM SYSTEM VISUAL NOTIFICATION INSTALLED 80" A.F.F. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM SYSTEM CEILING VISUAL NOTIFICATION. - "WG" DENOTES WIRE GUARD.
	FIRE ALARM CONTROL PANEL.

DATA AND COMMUNICATIONS SYMBOL LIST

	WALL MOUNTED SPEAKER. - "VR" DENOTES VANDAL RESISTANT HOUSING. - "WP" DENOTES WEATHERPROOF ENCLOSURE. INSTALL RECESSED BACK BOX.
--	--

ELECTRICAL ABBREVIATIONS

A	AMPERES	MCB	MAIN CIRCUIT BREAKER
AFCI	ARC FAULT CIRCUIT INTERRUPTER	MIN	MINIMUM
A.F.F.	ABOVE FINISHED FLOOR	MILO	MAIN LUGS ONLY
C	CONDUIT	MOCP	MAXIMUM OVERCURRENT PROTECTION
C/B	CIRCUIT BREAKER	PT	POTENTIAL TRANSFORMER
CT	CURRENT TRANSFORMER	SPD	SURGE PROTECTIVE DEVICE
CU	COPPER	TP	TAMPER PROOF
EC	ELECTRICAL CONTRACTOR	TYP.	TYPICAL
EM	EMERGENCY	U.N.O.	UNLESS NOTED OTHERWISE
FLA	FULL LOAD AMPS	V	VOLTS
G, GRD.	GROUND	VA	VOLT - AMPERES
GFI	GROUND FAULT CIRCUIT INTERRUPTER	W	WATTS
GFPE	GROUND FAULT PROTECTIVE EQUIPMENT	WG	WIRE GUARD
HP	HORSEPOWER	WP	WEATHER PROOF
I.T.	INFORMATION TECHNOLOGY	XFMR	TRANSFORMER
KCM	THOUSAND CIRCULAR MILS	IP	SINGLE POLE
MAX	MAXIMUM	2P	TWO POLE
MCA	MINIMUM CIRCUIT AMPS	3P	THREE POLE
		Ø	PHASE



LIGHT FIXTURE SUPPORT DETAIL

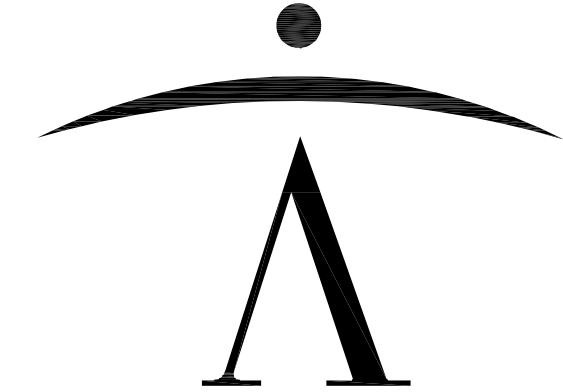
NO SCALE

DEMOLITION PLAN GENERAL NOTES

- ALL INDICATED ELECTRICAL EQUIPMENT, FIXTURES, DEVICES, AND RELATED CONDUIT AND WIRING TO BE REMOVED UNLESS NOTED OTHERWISE.
  - ALL DEMOLITION OF THE ELECTRICAL SYSTEM AS NOTED ON THE DEMOLITION DRAWINGS SHALL BE COORDINATED WITH THE RENOVATION REQUIREMENTS TO DETERMINE THIS CONTRACTOR'S WORK.
  - IT IS THE INTENT OF THE ELECTRICAL DEMOLITION DRAWING(S) TO INDICATE AREAS IN WHICH ELECTRICAL EQUIPMENT, CONDUIT, LUMINAIRES, DEVICES, ETC. NEED TO BE REMOVED, RELOCATED, OR MODIFIED BY THIS CONTRACTOR TO ALLOW FOR THE RENOVATION PHASE OF CONSTRUCTION. THE ELECTRICAL DEMOLITION PLAN IS FOR REFERENCE PURPOSES ONLY AND IT IS NOT INTENDED TO BE THE SOLE SOURCE OF EXISTING CONDITIONS.
  - CONTRACTOR SHALL VISIT THE BUILDING, BEFORE SUBMITTING THEIR BID, TO VERIFY THE EXISTING CONDITIONS WHICH WILL AFFECT THEIR WORK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE ELECTRICAL DEMOLITION REQUIRED TO ACCOMMODATE THE RENOVATION. REMOVE AS REQUIRED ALL LUMINAIRES, CONNECTIONS TO MECHANICAL EQUIPMENT, DEVICES, ETC.. PULL OUT ALL UNUSED CONDUCTORS AND CABLES, AND REMOVE ALL ABANDONED CONDUIT. ELECTRICALLY DISCONNECT AIR HANDLING UNITS, PUMPS, BOILERS, AND OTHER SUCH EQUIPMENT FOR REMOVAL BY OTHERS. BACKFEED AS REQUIRED ALL DOWNSTREAM DEVICES WHICH REMAIN. (THE CONTRACTOR SHALL COORDINATE WITH THE OWNER WHICH ITEMS INDICATED TO BE REMOVED & DISCONNECTED SHALL BE SALVAGED AND PRESENTED TO THE OWNER PRIOR TO ANY DISPOSAL OF THESE ITEMS.)
  - ALL REMOVED EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. WHERE WORK CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS INVOLVES THE REMOVAL OF FLUORESCENT LAMPS CONTAINING MERCURY OR CLOTH INSULATED CONDUCTORS, THEY SHALL BE PROPERLY HANDLED AND REMOVED FROM SITE BY APPROVED METHODS PER EPA REGULATIONS.
  - ALL EXISTING RECEPTACLES/DATA OUTLETS/DEVICES/EQUIPMENT THAT ARE NOT PART OF DEMOLITION SHALL REMAIN AS IS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL CHECK AND VERIFY FOR CONTINUING OPERATION OF THESE DEVICES PRIOR TO SUBSTANTIAL COMPLETION. IF ANY EXISTING CIRCUITS TO REMAIN ARE INTERRUPTED BY DEMOLITION OR NEW CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT/REMOVAL/REROUTING/MODIFICATION OF CONDUITS AND WIRES INCLUDING EXTENSION, AS REQUIRED TO MAINTAIN FUNCTIONALITY OF DOWNSTREAM RECEPTACLES/DATA OUTLETS/DEVICES/EQUIPMENT.
  - THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT PHASING AND MAINTAIN EXISTING SYSTEMS ACTIVE IN AREAS WHICH REMAIN OCCUPIED.
  - EXISTING CEILING MOUNTED SPEAKERS, PROGRAM BELLS, FIRE ALARM DEVICES, AND SIMILAR ELECTRICAL EQUIPMENT AND DEVICES TO REMAIN SHALL BE EXTENDED AND REINSTALLED AS REQUIRED IN NEW CEILINGS. FIELD VERIFY EXACT QUANTITIES AND REQUIREMENTS.
  - SUPPORT ALL CABLING DRAPED OR LYING LOOSE ABOVE EXISTING CEILINGS WHICH ARE SCHEDULED TO BE REMOVED. TIE WRAP CABLING TO JOISTS OR OTHER STRUCTURAL MEMBERS AS REQUIRED. UPON THE COMPLETION OF THE PROJECT, NO WIRING SHALL BE LYING ON ACCESSIBLE CEILINGS.
  - WHERE EXISTING DEVICE IS REMOVED FROM WALL WITH NO NEW DEVICE GOING BACK AT SAME LOCATION, PROVIDE BLANK COVER PLATES AS REQUIRED. COVER PLATES SHALL BE OF PROPER SIZE AND INSTALLED FLUSH WITH WALL.
- LIGHTING PLAN GENERAL NOTES**
- THE MINIMUM WIRE SIZE SHALL BE #12 AWG EXCEPT FOR SHARED NEUTRAL CONDUCTORS WHICH THE MINIMUM SIZE SHALL BE #10 AWG. THE MINIMUM CONDUIT SIZE FOR HOMERUNS SHALL BE 3/4". 1/2" CONDUIT IS ACCEPTABLE FOR BRANCH WIRING TO LUMINAIRES WHERE APPLICABLE. ALL LIGHTING BRANCH CIRCUITS SHALL TERMINATE AT 20A/1-POLE CIRCUIT BREAKERS IN PANELBOARD INDICATED UNLESS NOTED OTHERWISE.
  - PROVIDE LOCK-ON CIRCUIT BREAKER DEVICES FOR ALL EMERGENCY LIGHTING & EXIT SIGN BRANCH CIRCUITS.
  - REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LUMINAIRE LOCATIONS. REFER TO ARCHITECTURAL ELEVATIONS FOR LUMINAIRE SUSPENSION LENGTHS AND MOUNTING HEIGHTS.
  - ALL LUMINAIRES SHOWN HALF SHADED SHALL BE WIRED (NON-SWITCHED CIRCUIT) DIRECTLY TO THE EMERGENCY PANEL. PROVIDE DEDICATED NEUTRAL CONDUCTOR TO EACH BRANCH CIRCUIT TO THE EMERGENCY PANEL.
  - CIRCUIT NUMBER(S), WHERE SHOWN, ARE TO INDICATE QUANTITY OF CIRCUITS REQUIRED. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD. CONTRACTOR SHALL PROVIDE ACTUAL CIRCUITING AS PART OF "AS BUILT" DRAWINGS.
  - EMERGENCY BATTERY PACKS SHOWN ARE TO BE CONNECTED TO THE NEAREST LIGHTING BRANCH CIRCUIT AHEAD OF LOCAL SWITCH UNLESS NOTED OTHERWISE.
  - ALL LAY-IN FIXTURES SHALL BE INDEPENDENTLY SUPPORTED AT OPPOSITE CORNERS TO A STRUCTURAL MEMBER.
  - PROVIDE PULL BOX(ES) BETWEEN PULL POINTS AS REQUIRED TO COMPLY WITH NEC 344.26 SUCH THAT THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREE TOTAL) BETWEEN PULL POINTS.
  - ALL DIMMING SYSTEM CONTROL WIRING SHALL BE RATED AT 600V AND SHALL BE IN THE SAME CONDUIT AS THE CIRCUIT PROVIDING POWER TO THE LIGHT FIXTURE. CONDUIT SHALL BE 1/2" MINIMUM FOR DIMMING SYSTEM CONTROL WIRING WHERE RAN INDEPENDENT OF THE CIRCUIT SUPPLYING POWER TO THE FIXTURES.
  - PROVIDE SEPARATE NEUTRAL FOR ALL DIMMED CIRCUITS.
  - IN NEW WORK, CONTRACTOR SHALL PROVIDE COMMON DISCONNECTING MEANS FOR BRANCH CIRCUITS UTILIZING SHARED NEUTRALS PER ARTICLE 210.4(B). HANDLE TIES ARE ACCEPTABLE WHEN BREAKERS ARE "SLASH RATED" FOR THE HIGHER SYSTEM VOLTAGE RATING OF THE SYSTEM. WHEN HANDLE TIES ARE NOT POSSIBLE DUE TO NON-ADJACENT BREAKERS, PROVIDE A DEDICATED NEUTRAL FOR EACH UNGROUNDED CONDUCTOR.
  - IN EXISTING WORK WHEN UTILIZING EXISTING SPACES OR SPARES, CONTRACTOR SHALL PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT UNLESS HANDLE TIES ARE UTILIZED TO MEET THE REQUIREMENTS OF ARTICLE 210.4(B).
  - IN JUNCTION BOXES WHERE CURRENT CARRYING CONDUCTORS ARE SPLICED OR TERMINATED. PROVIDE BOND TO JUNCTION BOX FROM EQUIPMENT GROUNDING CONDUCTOR.

POWER PLAN GENERAL NOTES

- THE MINIMUM WIRE SIZE SHALL BE #12 AWG EXCEPT FOR SHARED NEUTRAL CONDUCTORS WHICH THE MINIMUM SIZE SHALL BE #10 AWG. THE MINIMUM CONDUIT SIZE FOR HOMERUNS AND BRANCH FEEDS TO POWER OUTLETS SHALL BE 3/4". 1/2" CONDUIT IS ACCEPTABLE FOR BRANCH WIRING TO END OF THE LINE RECEPTACLES ONLY. ALL POWER BRANCH CIRCUITS SHALL TERMINATE AT 20A/1-POLE CIRCUIT BREAKERS IN PANELBOARD INDICATED UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE ALL PENETRATIONS, SLEEVES, AND SEALANT AS REQUIRED THROUGH PARTITIONS TO ACCOMMODATE THE FIRE ALARM, PAGING, CLOCK, VOICE, AND DATA CABLING. ANY PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE PROPERLY SEALED AND TREATED TO MAINTAIN THE FIRE STOPPING RATING OF THE WALLS, FLOORS, AND CEILINGS.
- BACKBOXES ARE TO BE MOUNTED OFFSET, NOT BACK TO BACK.
- CIRCUIT NUMBER(S), WHERE SHOWN, ARE TO INDICATE QUANTITY OF CIRCUITS REQUIRED. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD. CONTRACTOR SHALL PROVIDE ACTUAL CIRCUITING AS PART OF "AS BUILT" DRAWINGS.
- UNLESS INDICATED OTHERWISE, ALL MATERIALS REQUIRED TO PROVIDE BRANCH CIRCUITS AND FEEDERS ARE TO BE NEW.
- DURING THE COURSE OF INVESTIGATION AND DEMOLITION, IF IT IS DETERMINED THAT IT MAY BE FEASIBLE TO UTILIZE EXISTING MATERIALS FOR BRANCH CIRCUITS AND FEEDERS, CONTRACTOR SHALL NOTIFY ENGINEER FOR APPROVAL PRIOR TO PERFORMING ANY WORK.
- REFER TO MECHANICAL AND PLUMBING SHEETS FOR ADDITIONAL EQUIPMENT INFORMATION.
- ANY ELECTRICAL DEVICES ON NEW AND EXISTING WALLS SHALL BE FLUSH MOUNTED. NO WIREMOLDS ARE ACCEPTABLE UNLESS NOTED OTHERWISE.
- VERIFY RECEPTACLE LOCATIONS WITH ARCHITECTURAL FURNITURE LAYOUT TO ENSURE PROPER ACCESSIBILITY.
- DRAWINGS DO NOT REPRESENT ALL EXISTING FIRE ALARM DEVICES. INITIATING AND NOTIFICATION DEVICES NOT SHOWN ON THE DRAWINGS ARE EXISTING TO REMAIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN OPERATION OF THE EXISTING DEVICES NOT SHOWN.
- EXISTING FIRE ALARM SYSTEM SHALL BE OPERATIONAL AT ALL TIMES. THE OCCUPIED AREA OF THE BUILDING SHALL NOT BE LEFT UNPROTECTED AT ANY TIME. IF AN INTERRUPTION OF FIRE ALARM SYSTEM IS REQUIRED TO FACILITATE DEVICE INSTALLATION, PROVIDE 48 HOURS OF ADVANCE NOTICE TO THE OWNER AND THE LOCAL FIRE DEPARTMENT. CONTRACTOR SHALL HIRE AN AUTHORIZED PERSONNEL TO WATCH/GUARD ANY UNPROTECTED AREAS OF THE BUILDING WHERE NECESSARY.
- UNLESS INDICATED ON ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. REMOVE, STORE, AND REINSTALL CEILING TILES AS REQUIRED TO INSTALL WORK ABOVE EXISTING REMOVABLE CEILINGS WHICH REMAIN; REPLACE TILES BROKEN OR DAMAGED DURING CONSTRUCTION. ALL PATCHING, REPAIRING, AND REFINISHING WORK TO OTHER FINISHES AND STRUCTURAL ELEMENTS SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE WHILE MAINTAINING EXISTING FIRE RATINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING FIRE RATINGS OF CEILINGS AND PARTITIONS SYSTEMS. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED, AND PAID FOR BY THE INSTALLING CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT.
- REMOVE AND REINSTALL CEILING MOUNTED DEVICES AS REQUIRED TO ALLOW INSTALLATION OF FEEDERS, BRANCH CIRCUITS, MECHANICAL PIPING, AND DUCT WORK. DEVICES INCLUDE BUT ARE NOT LIMITED TO: LUMINAIRES, SPEAKERS, FIRE ALARM, AND PAGING DEVICES.
- PROVIDE PULL BOX(ES) BETWEEN PULL POINTS AS REQUIRED TO COMPLY WITH NEC 344.26 SUCH THAT THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREE TOTAL) BETWEEN PULL POINTS.
- SPECIAL ATTENTION SHALL BE PAID TO ALL CONDUIT ROUTING IN OPEN CEILING SPACE FOR AESTHETIC PURPOSES. ALL EXPOSED CONDUITS SHALL BE ROUTED PERPENDICULAR AND PARALLEL TO BUILDING LINES AND TIGHT TO CEILING/STRUCTURAL CORNERS. WHERE IT IS NOT FEASIBLE TO CONCEAL RACEWAYS, SUBMIT CONDUIT ROUTING PLAN TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- IN RENOVATIONS, IF AN EXISTING RECEPTACLE/JUNCTION BOX LOCATION WILL END UP HIDDEN BEHIND PERMANENTLY INSTALLED EQUIPMENT OR CASEWORK, PROCEED AS NOTED BELOW:  
A. IF THE RECEPTACLE IS AN END OF LINE DEVICE (IT DOES NOT FEED OTHER DEVICES), IT SHALL BE REMOVED INCLUDING ASSOCIATED WIRING BACK TO LAST ACTIVE DEVICE OR JUNCTION BOX AND A BLANK COVER PLATE INSTALLED.  
B. IF THE RECEPTACLE DOES SERVE DOWNSTREAM DEVICES, REMOVE RECEPTACLE AND REWORK WIRING TO A NEW OR EXISTING JUNCTION BOX ABOVE CEILING SUCH THAT NO WIRES ARE PRESENT IN THE JUNCTION BOX. A BLANK COVER PLATE SHALL BE INSTALLED.
- IN NEW WORK, CONTRACTOR SHALL PROVIDE COMMON DISCONNECTING MEANS FOR BRANCH CIRCUITS UTILIZING SHARED NEUTRALS PER ARTICLE 210.4(B). HANDLE TIES ARE ACCEPTABLE WHEN BREAKERS ARE "SLASH RATED" FOR THE HIGHER SYSTEM VOLTAGE RATING OF THE SYSTEM. WHEN HANDLE TIES ARE NOT POSSIBLE DUE TO NON-ADJACENT BREAKERS, PROVIDE A DEDICATED NEUTRAL FOR EACH UNGROUNDED CONDUCTOR.
- IN EXISTING WORK WHEN UTILIZING EXISTING SPACES OR SPARES, CONTRACTOR SHALL PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT UNLESS HANDLE TIES ARE UTILIZED TO MEET THE REQUIREMENTS OF ARTICLE 210.4(B).
- IN JUNCTION BOXES WHERE CURRENT CARRYING CONDUCTORS ARE SPLICED OR TERMINATED. PROVIDE BOND TO JUNCTION BOX FROM EQUIPMENT GROUNDING CONDUCTOR.
- COORDINATE POWER TO BUILDING AUTOMATION SYSTEM CONTROLLERS WITH HVAC/BAS CONTRACTORS. PROVIDE 120V CIRCUIT FROM NEAREST PANELBOARD WITH SPACES TO PROVIDE POWER TO BAS CONTROLLERS. PROVIDE BRANCH CIRCUIT 20A/1P CIRCUIT BREAKER IN PANEL AND 2#12, 1#12G, IN 1/2" CONDUIT FROM PANEL TO EACH CONTROLLER.
- CONDUCTORS FOR EQUIPMENT RATED 100A AND BELOW ARE SIZED PER ARTICLE 110.14(C)(1)(a)(2) WHICH INDICATES TO UTILIZE THE 60° TEMPERATURE RATING COLUMN OF TABLE 310.15(B)(16) REGARDLESS OF CONDUCTOR INSULATION RATING.



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Project Name:

CONSTRUCTION DOCUMENTS  
**ESWOOD SCHOOL**

**ROOFING IMPROVEMENTS - SUMMER 2023**

ESWOOD ELEMENTARY SCHOOL  
304 N. MAIN STREET  
LINDENWOOD, ILLINOIS 61049

FOR  
**BOARD OF EDUCATION**  
**ESWOOD CCSD 269**

Engineer's Certification:

License: Illinois Professional Design Firm  
License No. 184-004110  
Expires: 2023-04-30  
License: Illinois Registration No. 062-040860  
Expires: 2023-11-30  
  
Signature Date 2023-04-18

Drawing Title:  
**ELECTRICAL SYMBOLS AND DETAILS**

Issue/ Revision:

No.	Date	Description
-	2023-04-18	ISSUED FOR BID

Project Manager: CRN  
Project No.: 2022052 Date: 2023-04-18

E3-1